

Louisburg Planning Commission Regular Meeting
6:30 P.M. January 28, 2026
City Council Meeting Room
215 S. Broadway
AGENDA

Livestream link:

<https://boxcast.tv/view/louisburg-planning-commission-w3qdme4vnlqrp0yzk8oc>

Item 1: CALL TO ORDER

Item 2: PLEDGE OF ALLEGIANCE

Item 3: ADOPTION OF THE AGENDA

Item 4: APPROVAL OF THE MINUTES:

-Minutes from November 19, 2025, Planning Commission regular meeting.

Item 5: PUBLIC COMMENTS:

Persons who wish to address the Planning Commission regarding items not on the agenda may do so at this time. Speakers will be limited to three (3) minutes. Any presentation is for informational purposes only.

Item 6: SCHEDULED VISITORS:

Aaron Young, Summit Homes – Development Discussion

NEW BUSINESS:

PUBLIC HEARING BUSINESS ITEMS:

Item 7: None

NON-PUBLIC HEARING BUSINESS ITEMS:

Item 8: Potential Text Amendment – Variances – Roof-Mounted Screening – Initial Consideration

Item 9: Lot Split – Case # 26001-LS – Starbrooke Phase 6, Lots 135A & B and 134A & B

Item 10: Site Plan – Case # 26001-SP - Hound Lounge Site Plan

Item 11: Site Plan – Case #25004-SP – Change Approval Requested

Item 12: 2024 Planning & Development Annual Report and 2025 Year-End Wrap-Up

Item 13: 2027 Budget Considerations / Joint Workshop 2026 Planning Commission Calendar

Item 14: 2026 Planning Commission Calendar

OLD BUSINESS:

None

Item 14: Adjournment

The next regular meeting of the Planning Commission is scheduled for 6:30 p.m. Wednesday, Feb. 25, 2026. The joint Council/Board/Commission workshop is scheduled for 6 p.m. Thursday, Feb. 26, 2026.

**LOUISBURG PLANNING COMMISSION
MEETING MINUTES
WEDNESDAY, NOVEMBER 19, 2025**

<https://boxcast.tv/view/louisburg-planning-commission-ve6ccsgmkidkmzstt64c>

The Planning Commission of the City of Louisburg, Kansas met at 6:30 p.m. in the City Hall Council Chambers with Chairperson Mike Johnson presiding.

ATTENDANCE:

Commission Members:	Chris Hoffman, Christian Brown, Thorvald McKiernan, Stephanie Parker
Mayor:	Donna Cook
City Council:	Steve Town
City Administrator:	Nathan Law
Planning & Dev. Director:	Katherine Louderbaugh
Comm. Coordinator:	Jean Carder

Stephanie Parker led the Pledge of Allegiance.

ADOPTION OF THE AGENDA

Discussion occurred as to whether the text amendment in Item 7 of the agenda had already been seen preliminarily for review by the Planning Commission. Louderbaugh noted a draft amendment had been reviewed at the August meeting and was briefly discussed. She noted the case could be pushed if the Commission would rather wait to take action.

Louderbaugh also noted Item 11, the PDP for Middle Creek Crest, would not be occurring as presented on the agenda, as it was denied by the City Council. She said the Commission could discuss the case, but no formal action could be taken.

Thorvald McKiernan moved, seconded by Chris Hoffman and carried 5-0, to adopt the amended agenda as presented.

APPROVAL OF MINUTES

Christian Brown moved, seconded by McKiernan and carried 5-0, to approve the minutes of the October 29, 2025, regular meeting.

PUBLIC COMMENTS

None.

Hoffman asked if there are restrictions on how long the public can talk at a regular public hearing for a specific case. City Administrator Law clarified for a normal public comment, 3 minutes can be enforced as it is expected. He said on a public hearing item, you can set time limits if it is for the timely flow for a meeting. He said someone could keep time, and if people kept reiterating the same information, the person could note they echo the prior comments made.

PUBLIC HEARING BUSINESS ITEMS

25001-TXA – Text Amendment – Signage Material to allow HDU (High Density Urethane) – McKiernan moved to continue the case to the December 17, 2025, Planning Commission meeting, seconded by Hoffman. Motion carried 5-0.

McKiernan asked for clarification on what was considered “high-quality metal”. Louderbaugh said she believed this may have already been in the Zoning Regulations. McKiernan noted it is impossible to define high-quality. Law noted it is required elsewhere in the design guidelines. Hoffman asked if we needed to define the gauge for the structure, as well as the exterior. It was clarified the HDU material would be over the metal but is not metal itself. Louderbaugh noted there are many signs around Louisburg that are commercial and may have aluminum or steel frames, which are not currently spoken to in our Zoning Regulations. Further discussion occurred about considering the structural metal as well as the exterior cladding.

Louderbaugh said currently, the regulations are tailored more to situations with subdivision monument signage, where they are clad in stone or similar material. She has seen requests for monument signs in town to be updated, but they are commercial in nature, and the regulations don’t have anything that speaks to or allows this. She is hoping to update the regulations to reflect more of what exists in town. Discussion occurred regarding the substructure, and whether signs need to be engineered. It was suggested to reach out to sign professionals to ask about what the industry standard is. An additional suggestion was to reach out to local municipalities to see what their sign standards are, to help inform how the regulations should be amended. Louderbaugh said she could bring back language from other cities or a table showing comparisons.

NON-PUBLIC HEARING BUSINESS ITEMS

Text Amendment Consideration – Screening of Roof-Mounted Utilities – At the request of the Planning Commission, Louderbaugh has been working with The Go-To Restaurant to have roof-mounted utilities / structures screened. She said the applicant came to City Council earlier in November and informed them that the cost to add screening to this building is very high and is asking for an exception to the requirement. Council noted they would like to have staff bring a text amendment to allow for exceptions such as a low-lying building as there isn’t currently a variance option.

Law noted with The Go-To specifically, it’s location at the bottom of a hill along Amity puts drivers at eye-level of the roof. He said that for a situation like this, screening would need to be taller, likely more expensive. Louderbaugh said there were a few concerns, one of which was the pizza oven on the back side of the building. The applicant’s contractor said it gets very hot, which would potentially melt or damage any sort of screening around it. Louderbaugh said she checked on all four sides of the property

to verify all sides would all need to be screened, as the screening requirement is “so as not to be visible from ground level of any adjacent public thoroughfare or residentially zoned area, up to a maximum of three hundred (300) feet away. All four sides of this building are required to be screened. Parker noted that if you are going to require other existing businesses to meet this requirement (Family Dollar, for example), that it would need to be enforced across the board. Law noted when you make a change to a regulation, it is at a point in time, and cases would be considered moving forward from that. He said Family Dollar was also brand-new construction, but this is an existing building. He also noted the applicant said the roof would need to be replaced if screening was added, which could be a significant cost.

McKiernan asked if this had been looked at during plan review, and Hoffman said he thought they had looked at it. McKiernan asked what staff had changed procedurally to make sure that this doesn't occur again, as this is now the second time it has occurred. He said typically in projects that his company works on, if rooftop equipment is switched out, you're required to screen those utilities, regardless of the age of the building. Hoffman said in Johnson County this is required for all buildings. Further discussion occurred regarding the specifics of The Go-To building and the roof-mounted utilities.

McKiernan said he thinks the city should pay to remediate the issue, as it was missed during the plan review. Parker asked if there was additional frontage on the roofline that could allow for distance from the pizza oven, and it was clarified this utility is on the back side of the building and not the front. Hoffman asked for clarification from McKiernan, on if his thought process was that the applicant would bring the plans in at review time and ask for an exception to the screening then. Law noted that exemptions to the screening are currently not allowed by the Zoning Regulations. Louderbaugh said variances allowed are to height, setbacks, and parking. Hoffman said this is unfortunate as it could have potentially been worked out on the front end. He asked for clarification if a variance to this was something that could have been requested even if it wasn't listed in the regulations. Law said specific criteria for a new Variance would need to be added, such as topography, height of screening, etc. Hoffman said that one concern would be how to define items such as “exceptionally low topography”, as that could be subjective. Johnson asked if you could measure the point from a specific spot in front of the building to check topography.

Hoffman asked what the City Council said when this was brought to them. Law said they had requested to have the Planning Commission consider making this update. Mayor Cook said she thought the City Council had told them they didn't need to do the screening. Louderbaugh said the Council didn't want to make a ruling to allow for this type of situation with a Variance without having brought something before the Planning Commission first. Hoffman asked if this was moot if the Council was going to just toss the case, regardless of what the Planning Commission decides to do. Parker said she believes this is going to be a problem that comes up again, and doesn't want to cause the applicant economic hardship, especially since it wasn't their mistake. She said we can't leave that door open for the next group that wants to have something like this. Johnson said he was concerned that someone wanting an exception could skip the Planning Commission and go straight to Council to get approval.

Additional discussion occurred regarding properties in Louisburg where roof-mounted equipment is not screened. He asked about the reason for going through text amendments if the PC is going to get bypassed. Additional discussion occurred on this point. Law noted if this is something the Planning Commission feels passionate about, there is a joint boards and commissions meeting coming up between the City Council and all boards. While that may not be the right setting for this discussion (as

that is specifically for budget item requests) it could be a conversation moving forward. Law read an excerpt from the Council meeting minutes where the screening case was discussed.

Hoffman said he is agreeable to considering things, but the point of regulations is to regulate and enforce them. He would be willing to look at adding a variance for existing buildings and conditions to help work through potential issues as they come up. Mayor Cook said the cost to add the screening would be around \$23,000. McKiernan said he didn't agree for the need to replace the entire roof, but solely where the support structure for the utility is located. Cook said a big part of the issue is the owner wasn't told up front that this was a requirement. Johnson said usually when an inspector comes out on-site for a final inspection, it isn't uncommon to find something missed during plan review, and they end up enforcing the requirement. McKiernan said usually it isn't a large item that is missed, though.

Law said there is no excuse for missing something like this, and that he and Louderbaugh have talked at length about what can be put in place to make sure this doesn't happen again. He said the city has its own unique set of regulations, and unfortunately, Louderbaugh wasn't on board with the city when this project was reviewed and approved. Law noted one of her first tasks was to review processes and procedures to see where they can be updated and made better. McKiernan asked if reviews are done in-house or if they are done by consultants. Law said currently they are done in-house, but there is consideration to have items like stormwater studies reviewed by a third party on a case-by-case basis.

McKiernan said many times smaller municipalities have consultants review their plans, as they don't have construction expertise to review larger plans. He said it might add a week or two to the plan review timeline, but consulting / engineering firms have experts on staff for life / safety and the like. Hoffman asked if there could be a checklist for items that are required. He also noted that people are human, and will make mistakes, big or small. He noted he would prefer to see the city add a variance to allow this on a case-by-case basis for unique circumstances.

Law said he could see a case-by-case review option, as not every building has the same considerations. Johnson said parameters would need to be set on what this variance would look like. Hoffman asked if it could be existing buildings, low-lying buildings (to the surrounding areas), buildings where the neighboring buildings are exceptionally tall, etc. Law asked if cost (when enforcing required code upgrades such as screening) would be a consideration for a variance. Hoffman said there needs to be some subjectivity, and a range of factors could be considered. He said if it was something that we missed, rather than make an exception to let it slide, it would be best to make a variance for it. Parker said a variance was made for the lumber company, due to the amount of money he was going to have to spend to bring the drive into compliance. Law said that wasn't a variance, as the regulation was still fully enforced. McKiernan said it was an extended timeframe for compliance.

Johnson asked what the plan is moving forward. Louderbaugh said she could investigate the possibility of adding a variance. Law said the BZA would be tasked with implementing action on this, but the language would be reviewed by the Planning Commission and City Council before approval. Louderbaugh asked if the Commission wanted to take building mass into consideration for screening. With The Go-To specifically, it is already a shorter building with varying roof heights, so that could be a consideration as well. Hoffman said anything staff thinks is relevant, he is willing to consider. She said part of the concern in this particular case is the roof-mounted units are somewhere between 5' and 6' in height, and with a shorter building, screening may look odd. The Commission thought it best to start with the items discussed previously.

Text Amendment Consideration – HUD Requirements for Mobile Homes – Louderbaugh said this is something that a previous Planning Commission discussed in 2021 and was never brought back for consideration. She noted in the last 8-10 months there has been an increase in the number of mobile homes being brought into the city, with more coming. She said HUD has standards put in place and wanted to talk with the Commission about if this was something they wanted to implement. Quality of the homes is a concern, and as these aren't stick-built homes, it may need to be considered. Louderbaugh also asked if the Commission wanted to consider requiring inspections for these homes. She said there are electrical hookup inspections and gas pressure tests performed when they are brought in, but there are not any additional inspections required.

McKiernan asked if these were built to some sort of standard originally. He doesn't see this as any different than a home built in the 1800s that wouldn't meet current standards and doesn't feel any additional regulations are necessary. Law said the only reason for this is building material standards changed with this HUD update, and it could be set to requiring homes of that date forward. McKiernan said this would be limiting people's opportunities. Law said the way you would inspect would be looking for the tag as shown in the memo provided. The tag shouldn't be able to be removed, as it ensures that the home was built since the date required.

Hoffman asked why this had been brought up and if staff saw a lot of issues with quality. It was noted it is just a way to help verify that the homes being brought in are well constructed. Additional discussion occurred on this. The commission chose not to move forward with adopting any additional language into the regulations regarding this topic.

2027 Budget – Initial Considerations – Law said he is requesting to talk through priorities, budget or otherwise. One item the Planning Commission had requested that is being added into the 2026 budget is the infrastructure expansion fund. It doesn't need to be strictly budget priorities, but it would be best if the Commission could bring ideas back to the next meeting and then staff can track down cost components to present in January. The joint boards and commissions meeting would be sometime in February/March.

Johnson said one priority item discussed tonight would be third-party reviews.

OLD BUSINESS

Middle Creek Crest Discussion – Louderbaugh informed the Planning Commission the cases for Middle Creek Crest (25001-PDP and 25003-REZ) had been unanimously denied by the City Council at the most recent meeting Nov. 17th. Johnson asked for the reasoning this was denied. Louderbaugh said staff presented all information provided to the Planning Commission, and there were six or seven members of the public that came to the Council meeting to speak (although not all were in opposition of development in general). Some of the concerns included the HOA, stormwater, traffic, lot size, lot width, asking for the PUD, location of the PUD, safety with walkability to schools, cost (affordability), etc.

Parker said most all the concerns were noted items discussed at the previous Planning Commission meeting. Johnson said he believes there are differences in the priorities of the Planning Commission and the City Council, and Council is held to politics and the Commission isn't. He noted the denial is very frustrating and doesn't see the reason a lengthy discussion occurred if it was just going to be denied. McKiernan said the terms "affordable" and "attainable" are selling terms, and it costs money

to do things. He noted that due to the costs of development, it takes a certain number of units to make the costs work out. He said this was the first developer to bring a project of any size to Louisburg in 20+ years, and the Council rejected it. Parker said it reflects poorly on the commission, even though it was recommended to approve the application.

McKiernan asked about the possibility of eliminating the PUD from the Zoning Regulations and noted that it may not be best to try to always follow the Comprehensive Plan, as you don't know where people are going to want to invest their money and we need to be flexible. He said the Planning Commission spends a lot of time and thought on these projects for the Council to just deny it. It was noted if the homes are built on full-sized lots, the cost will increase significantly. Hoffman asked if the developer was just going away or if they are going to try again. Louderbaugh said she talked to the developer that afternoon, and they are still in the regrouping phase. Law said the regulations state if a rezone is denied there is a minimum 6-month window that needs to be followed to wait until a rezoning application can be heard again on the specific property. Hoffman asked what the vote was, and Law said it was unanimous (5-0). He noted the conversation leading up to the vote wasn't necessarily unanimous.

McKiernan left the meeting at this time.

Hoffman asked at what point the Planning Commission would be tasked with something, and it just doesn't make sense. He shared concern the city wasn't putting itself first and looking at bringing more people in that will use the businesses in town. Law said he sees good coming from this conversation, as we are talking about the Comp Plan and the future, but wants to know how to address the Commission's concerns with the process. Mayor Cook said the Commission makes recommendations to the Council, and if the Council isn't going to take their recommendations, sometimes she wonders why there is a Planning Commission.

Johnson asked why the City Council is reviewing stormwater studies. He noted while the Planning Commission may not be experts in this field, they do reviews of those studies. Mayor Cook asked if any of the Council members reach out to Planning Commissioners ever to discuss cases. Parker said she received correspondence from a member of the public for this project and printed it to distribute to the Commission so they could see what was asked of staff. Law said if it was the same email received by staff it was included in the Council packet for review. Hoffman said since he has been here there have been issues with RHID. He said the problem the city has is that there are islands within the city, but people don't want to annex into the city. He noted while the Councilmembers might be ward specific, their job is to represent the city as a whole and not just their specific district. He is concerned that the tough conversations aren't being had when they need to be. He ran through the items discussed at the previous Planning Commission meeting, and where they had landed on them. Hoffman said he drove to other communities the developer had built to see what type of homes and density were being proposed, and it wasn't as bad as he had thought. He noted if the Comp Plan is going to be redone, it will be important to talk with the people in Miami County across 271st Street.

Mayor Cook said she thinks if the Planning Commission is making recommendations to the City Council, the Council needs to be talking with the Commission prior to meetings. Law noted it would be important to make sure that no KOMA (Kansas Open Meetings Act) laws were potentially violated. He also said if there were clarification questions, that conversation could have been part of remanding the case back to the Planning Commission, instead of denying it outright. He noted the Council has an obligation to consider the best direction for the city.

Hoffman asked what the City Council’s plan is for growth, as growth is inevitable. He asked if the Comprehensive Plan is out of date, and it was noted that it isn’t. Law said the current Comp Plan was focused on the growth of the existing city, instead of future growth outside of current city limits. Further discussion occurred on this. Hoffman said if the City Council is going to continue rejecting proposals, he believes Planning Commission should be provided with information on why it was rejected. Annexation was discussed as an important consideration for future development. Parker noted it isn’t always necessarily the choice of the residents whether their properties are annexed into the city. Johnson said any island in the city should be annexed. Law said this conversation could be a potential collaboration between the Planning Commission and City Council at a future date. He believes the Council has been receptive to many things the Commission has sent their way, this unfortunately wasn’t one of them.

Hoffman said text amendments are considered because of something not working. He said there are tough conversations that need to be had, and it might not be valid to consider rejecting proposals if only 6 people out of a town of 5,000 come to speak. He noted there were hundreds of people present for the RHID conversation, and 6 people may not reflect an accurate pulse of the community. He said they all have a right to talk, but their opinions are their best interests and may not be the city’s best interest. Law said there is a dichotomy to this community, where some may want it to grow and some don’t. He reiterated what Hoffman said about needing to address goals and how growth will occur. Discussion occurred regarding the ramifications of rejecting proposals, and the possibility of discussing the disconnect between the boards. Law noted there are 4 legal options for the Council at their meeting: approve, approve with stipulations, deny, or remand to the Planning Commission. A remand would have allowed for continued conversation, but it was denied. He also noted there had been a thought about potentially sending a Planning Commission member to the City Council meetings to serve as a representative and be able to speak on behalf of the Commission regarding questions the Council may have.

Parker noted it would be good to know what the City Council sees as the future for the city, and it doesn’t sound like it is what is currently in the Comprehensive Plan. She asked how the Planning Commission is supposed to uphold the Comp Plan in that case. Law said one of the comments from the Council was “slow and steady growth”. Hoffman noted the denied plan was calling for an addition of roughly 50 people per year for 5 years, which he feels is very nominal. He asked if the City Council reads the packets provided and noted the packets were large. He said it would be helpful to have more City Council members come and listen to Planning Commission to be informed about those discussions. Law said he would like to spend time with staff trying to figure out how to bring the Planning Commission and City Council together.

November Director’s Update – Louderbaugh updated the Planning Commission on 5 cases that went to City Council at the second November meeting.

1. ***105 E. Amity St. – Rezoning from “C-0” to “C-3”***
Status: Approved by City Council at 11/17/25 meeting.
2. ***Hidden Creek Estates – Prelim. & Final Plats***
Status: Approved by City Council at 11/17/25 meeting.
3. ***Middle Creek Crest – Rezoning from “R-1” to “PUD”***
Status: Denied by City Council at 11/17/25 meeting.

4. ***Middle Creek Crest – Preliminary Development Plan for PUD***
Status: Denied by City Council at 11/17/25 meeting.
5. ***Agape’s Grace Fence & Bollards – Special Use Permit***
Status: Tabled to 12/1/25 City Council meeting.

Louderbaugh then provided an update on additional cases that are in-progress.

The Go-To Restaurant – Screening of Rooftop Equipment –

Status: In-progress

Update: Applicant went to City Council, requested to get a waiver to this requirement. Council asked Planning Commission to consider a text amendment to allow for exceptions.

MS / HS Baseball / Softball Fields –

Status: In-progress

Update: The vote for this passed. Building plans are in, and we are waiting to hear from the applicant on when they are ready to formally move forward.

ADJOURNMENT

At 7:57 p.m., Brown moved, seconded by Hoffman and carried 4-0, to adjourn the meeting.



Memo: Item 6

To: Planning Commission

From: Staff

Date: Jan. 23, 2026

Re: Aaron Young, Summit Homes – Development Discussion

At the December meeting Kyle King, president of Summit Homes, had planned to have a development discussion with Planning Commission. Mr. King is unable to attend but Aaron Young, a vice president with Summit Homes, will attend.

The memo from the December meeting is attached for your review.

Legal: None

Financial: None

Recommendation: Discuss and advise applicant and staff accordingly.



To: Planning Commission

From: Katherine Louderbaugh, AICP – Planning & Development Director

Date: December 8, 2025

Re: Kyle King, President – Summit Homes – Development Discussion

Kyle King, President of Summit Homes, has requested to speak with the Planning Commission. Summit Homes is the developer that most recently brought through the Middle Creek Crest PUD development, which was recommended for approval by the Planning Commission in October and denied by the City Council in November.

Financial: None

Recommendation: Discuss and advise staff and applicant accordingly.



To: Planning Commission

From: Katherine Louderbaugh, AICP – Planning & Development Director

Date: December 9, 2025

Re: Potential Text Amendment – Variances – Roof-Mounted Screening – Initial Consideration

At the November Planning Commission meeting, the potential of waiving roof-mounted screening in certain situations was discussed. Staff originally proposed the idea of a text amendment to Section 618, Design Standards, of the Zoning Regulations to allow for this exception. The Planning Commission preferred to consider a text amendment to add a Variance instead. This would allow the Board of Zoning Appeals (BZA) the ability to provide a Variance based on a few factors, should they choose to do so.

Financial: None

Recommendation: Discuss and advise staff accordingly.

Attachments: 1) Draft language for Roof-Mounted Screening Variance



To: Planning Commission

From: Katherine Louderbaugh, AICP – Planning & Development Director

Date: December 9, 2025

Re: Potential Text Amendment – Variances – Roof-Mounted Screening – Initial Consideration

At the November Planning Commission meeting, the potential of waiving roof-mounted screening in certain situations was discussed. Staff originally proposed the idea of a text amendment to Section 618, Design Standards, of the Zoning Regulations to allow for this exception. The Planning Commission preferred to consider a text amendment to add a Variance instead. This would allow the Board of Zoning Appeals (BZA) the ability to provide a Variance based on a few factors, should they choose to do so.

Financial: None

Recommendation: Discuss and advise staff accordingly.

Attachments: 1) Draft language for Roof-Mounted Screening Variance

SECTION 1003. POWERS AND JURISDICTION.

B. Variances. To authorize in specific cases a variance from the specific terms of these regulations which will not be contrary to the public interest and where, owing to special conditions, a literal enforcement of the provisions of these regulations will, in an individual case, result in unnecessary hardship, provided the spirit of these regulations shall be observed, public safety and welfare secured, and substantial justice done. Such variance shall not permit any use not permitted by the zoning regulations in such district.

1. The applicant must show that his property was acquired in good faith and where by reason of exceptional narrowness, shallowness or shape of this specific piece of property at the time of the effective date of the District Zoning Regulations, or where by reason of exceptional topographical conditions or other extraordinary or exceptional circumstances, the strict application of the terms of the zoning regulations actually prohibit the use of this property in the manner similar to that of other property in the zoning district where it is located.

2. Variances from these regulations may be granted only in the following instances:

a. To vary the applicable lot area and width, height and yard regulations.

b. To vary the applicable off-street parking and off-street loading requirements.

c. To vary from the Design Standards, Louisburg Zoning Regulations Section 618 (C)(1-2), regarding roof-top screening. Considerations for this section are limited to the following:

i. Cost of screening;

ii. Low-lying topography of building to be screened;

iii. Existing buildings;

iv. Type of equipment is not permissible for roof-top screening.

3. A request for a variance may be granted upon a finding of the Board that all of the following conditions have been met. The Board shall make a determination on each condition and the finding shall be entered in the record.

a. The variance requested arises from such condition which is unique to the property in question and which is not ordinarily found in the same zone or district and is not created by an action or actions of the property owner or applicant.

b. The granting of the permit for the variance will not adversely affect the rights of adjacent property owners represented in the application.

c. The strict application of the provisions of the zoning regulations of which the variance is requested will constitute unnecessary hardship upon the property owner represented in the application.

****DRAFT****

- d. The variance desired will not adversely affect the public health, safety, morals, order, convenience, prosperity, or general welfare.
 - e. The granting of the variance will not be opposed to the general spirit and intent of the zoning regulations.
4. In granting a variance, the Board may impose such conditions, safeguards and restrictions upon the premises benefited by the variance as may be necessary to reduce or minimize any potentially injurious effect of such variance upon other property in the neighborhood, and to carry out the general purpose and intent of these regulations.
- C. Conditions of Determinations. To exercise the foregoing powers, the Board, in conformity with the provisions of this act, may reverse or affirm, wholly or partly, or may modify the order, requirement, decision or determination, and to that end shall have all the powers of the officer from whom the appeal is taken, may attach appropriate conditions, and may issue or direct the issuance of a building permit.

A majority of the Board shall constitute a quorum for the transaction of business and a concurring vote of a majority of the entire Board shall be necessary to reverse any order, requirements, decision or determination of the Codes Administrator, or to decide in favor of the applicant upon any matter which it is required to pass under these regulations, or to affect any variation in such regulation.



Memo: Item 9

To: Planning Commission

From: Staff

Date: Jan. 22, 2026

Re: 26001-LS Lots 135A & B and Lots 136A & B in Starbrooke

The developer for the duplexes located at Lots 135A & B (1321 and 1323 S. Fourth St. East) and Lots 136A & B (1301 and 1303 S. Fourth St. East) in Starbrooke is wrapping up two of the units and desires a lot split to individually sell each unit. The developer has paid the appropriate lot split fees to the City. This lot split is similar to the other duplexes in that same subdivision which have been split and are individually owned.

The lot split is currently under the review of the Miami County surveyor. Staff find the lot split request meets all guidelines as set out in the Subdivision Regulations. If approval is recommended, this request will go before the Governing Body and its Feb. 2 meeting.

The applicant has been asked to submit a new documents for final signing in which the street Sunset Dr. is changed to Sunset Ave.

Administrator Law is assisting staff in developing this memo and in his review of subdivision regulations he notes lot splits should occur before the permits are issued. That has not happened in the past. Moving forward, Staff will require lot splits to occur before permitting for construction unless Planning would like staff to research how other municipalities handle these types of lot splits and potentially consider a change to our procedures.

Legal: None

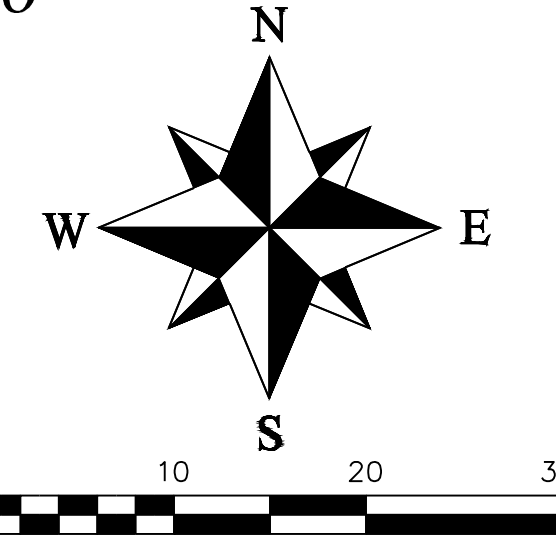
Financial: None

Recommendation: Approve the lot split based on approval from the County surveyor.

Sample motion: *I move to approve the lot split for Lots 135A & B and Lots 136A & B pending approval from the Miami County reviewer and forward to the Governing Body for final approval.*

Lot Split Survey STARBROOKE - PHASE 6 Lots 135A & 135B

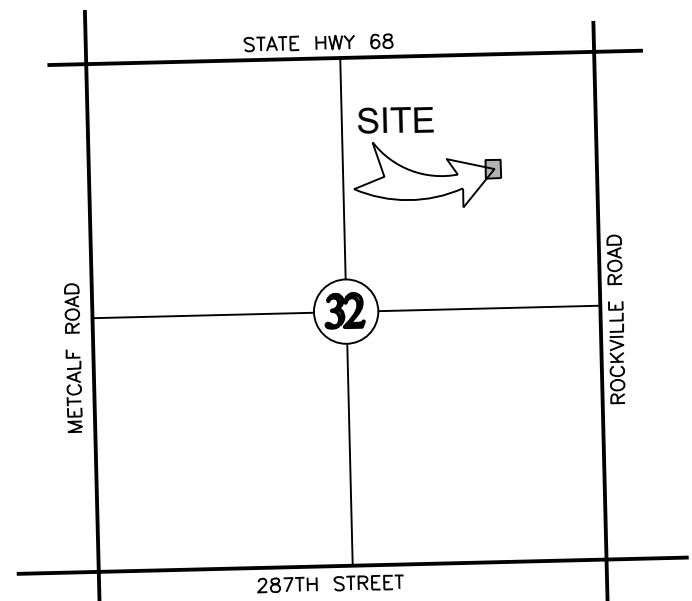
A Replat of Lot 135, Starbrooke - Phase 6
Section 32, Township 16, Range 25
Louisburg, Miami County, Kansas



LEGEND

These standard symbols will be found in the drawing.

- Set 1/2" Rebar & Cop (LS-218)
- ⊙ Found Survey Monument (As Noted)



LOCATION MAP
SECTION 32-T16-R25

PARENT TRACT DESCRIPTION

ALL OF LOT 135, STARBROOKE-PHASE 6, A SUBDIVISION AS RECORDED IN LOUISBURG, MIAMI COUNTY, KANSAS ON JANUARY 25, 2013 ON SLIDE NUMBER P013-00003. CONTAINING 0.25 ACRES MORE OR LESS

LOT 135A DESCRIPTION

BEGINNING AT THE SOUTHWEST CORNER OF LOT 135, STARBROOKE-PHASE 6, A SUBDIVISION AS RECORDED IN LOUISBURG, MIAMI COUNTY, KANSAS; THENCE NORTH 00° 03' 38" EAST A DISTANCE OF 115.84 FEET; THENCE NORTH 89° 56' 22" WEST A DISTANCE OF 39.00 FEET; THENCE SOUTH 00° 03' 38" WEST, ALONG THE CENTERLINE OF THE DEMISING WALL AND ITS EXTENSIONS OF THE EXISTING DUPLEX, A DISTANCE OF 115.84 FEET; THENCE SOUTH 89° 56' 22" EAST A DISTANCE OF 39.00 FEET TO THE POINT OF BEGINNING. CONTAINING 0.10 ACRES MORE OR LESS

LOT 135B DESCRIPTION

BEGINNING AT THE SOUTHWEST CORNER OF LOT 135, STARBROOKE-PHASE 6, A SUBDIVISION AS RECORDED IN LOUISBURG, MIAMI COUNTY, KANSAS; THENCE SOUTH 89° 56' 22" EAST A DISTANCE OF 36.00 FEET; THENCE NORTH 00° 03' 38" EAST, ALONG THE CENTERLINE OF THE DEMISING WALL AND ITS EXTENSIONS OF THE EXISTING DUPLEX, A DISTANCE OF 115.84 FEET; THENCE NORTH 89° 56' 22" WEST A DISTANCE OF 56.00 FEET; THENCE SOUTH 00° 03' 38" WEST A DISTANCE OF 115.84 FEET TO THE POINT OF BEGINNING. CONTAINING 0.15 ACRES MORE OR LESS

DEDICATION:

THE UNDERSIGNED PROPRIETOR OF THE ABOVE DESCRIBED TRACT OF LAND HAS CAUSED THE SAME TO BE SUBDIVIDED IN THE MANNER SHOWN ON THE ACCOMPANYING PLAT, WHICH PLAT AND SUBDIVISION SHALL HEREAFTER BE KNOWN AS

"STARBROOK-PHASE 6 LOTS 135A & 135B"

EASEMENTS

AN EASEMENT OR LICENSE IS HEREBY GRANTED TO THE CITY OF LOUISBURG, KANSAS, TO LOCATE, CONSTRUCT AND MAINTAIN OR TO AUTHORIZE THE LOCATION, CONSTRUCTION AND MAINTENANCE OF POLES, WIRES, ANCHORS, CONDUITS, AND/OR STRUCTURES FOR WATER, GAS, SANITARY SEWER, STORM SEWER, SURFACE DRAINAGE CHANNEL, ELECTRICITY, TELEPHONE, CABLE TV, OR ANY OTHER NECESSARY PUBLIC UTILITY OR SERVICES, ANY OR ALL OF THEM, UPON, OVER, OR UNDER THOSE AREAS OUTLINED AND DESIGNATED UPON THIS PLAT AS "UTILITY EASEMENTS" (U/E) OR WITHIN ANY STREET OR THOROUGHFARE DEDICATED TO THE PUBLIC USE ON THIS PLAT. GRANTOR, ON BEHALF OF HIMSELF, HIS HEIRS, HIS ASSIGNS AND SUCCESSORS IN INTEREST, HEREBY WAIVES, TO THE FULLEST EXTENT ALLOWED BY LAW, INCLUDING, WITHOUT LIMITATION, SECTION 527.188 RSM. (2006), ANY RIGHT TO REQUEST RESTORATION OF RIGHTS PREVIOUSLY TRANSFERRED AND VACATION OF THE EASEMENT HEREIN GRANTED.

STREETS

THE ROADS AND STREETS SHOWN ON THIS PLAT AND NOT HERETOFORE DEDICATED TO PUBLIC USE AS THOROUGHFARES ARE HEREBY SO DEDICATED.

BUILDING LINES

BUILDING LINES OR SETBACK LINES ARE HEREBY ESTABLISHED AS SHOWN ON THE ACCOMPANYING PLAT. NO BUILDING OR PORTION THEREOF SHALL BE CONSTRUCTED BETWEEN THIS LINE AND THE STREET RIGHT OF WAY LINE.

IN TESTIMONY THEREOF:

CLAYTON PROPERTIES GROUP INC., A TENNESSEE CORPORATION LICENSED TO DO BUSINESS IN THE STATE OF KANSAS, HAS CAUSED THESE PRESENT TO BE SIGNED THIS _____ DAY OF _____ 2026.

BRAD KEMPF - ASSISTANT SECRETARY

NOTARY CERTIFICATION

STATE OF MISSOURI)
)SS
COUNTY OF LAFAYETTE)

ON THIS _____ DAY OF _____, 2026, BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC, PERSONALLY APPEARED, BRAD KEMPF, ASSISTANT SECRETARY OF CLAYTON PROPERTIES GROUP INC., A TENNESSEE CORPORATION, TO ME KNOWN TO BE THE PERSON DESCRIBED HEREIN AND WHO EXECUTED THE FOREGOING INSTRUMENT THEY EXECUTED THE FOREGOING INSTRUMENT AS THEIR FREE ACT AND DEED.

IN WITNESS WHEREOF

I HAVE SET MY HAND AND AFFIXED MY SEAL THE DAY AND YEAR LAST WRITTEN ABOVE.

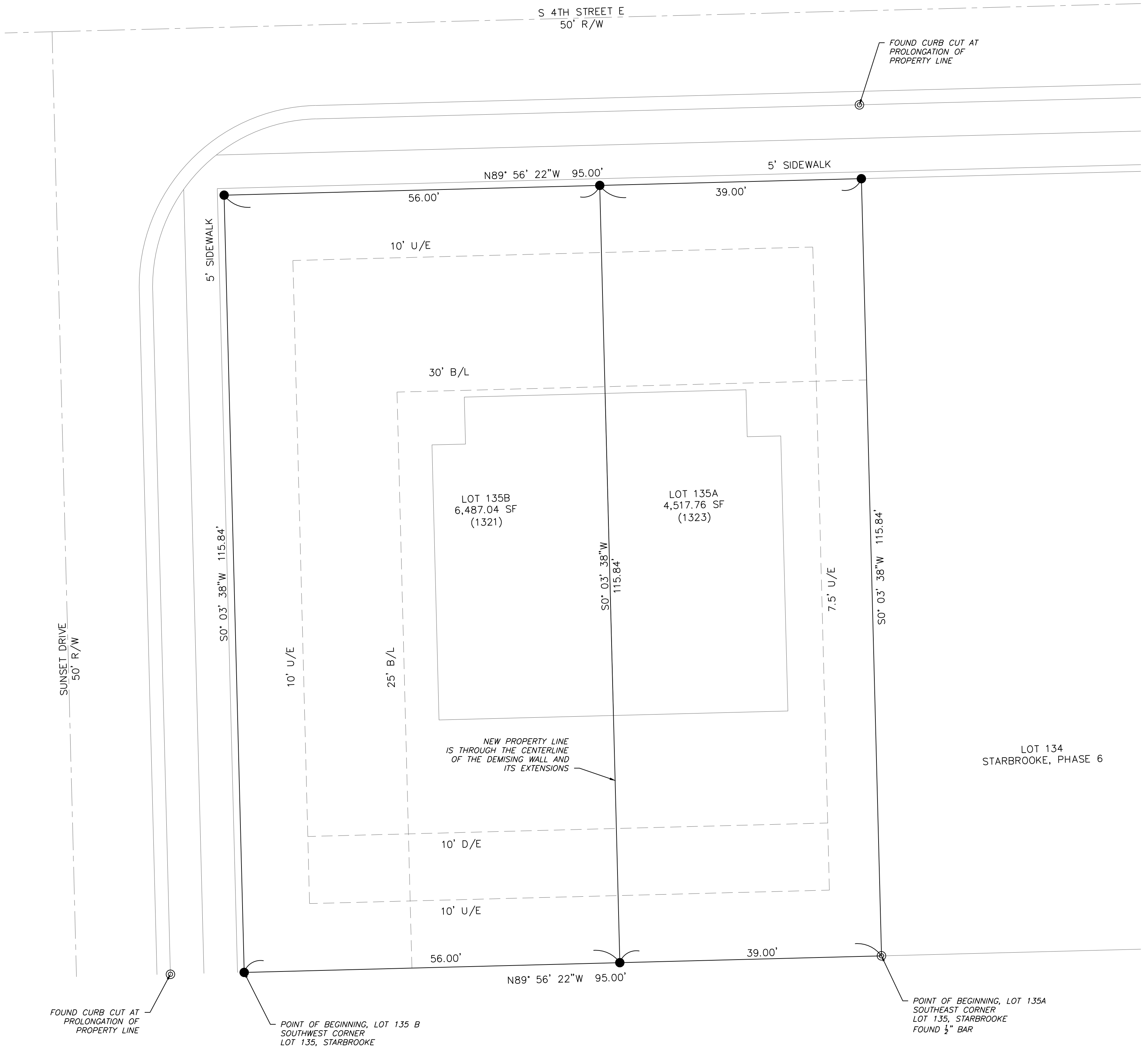
NOTARY PUBLIC

MY COMMISSION EXPIRES _____

SURVEYOR'S CERTIFICATION:

I HEREBY CERTIFY THAT I HAVE MADE A SURVEY OF THE PREMISES DESCRIBED HEREIN WHICH MEETS OR EXCEEDS THE CURRENT "KANSAS MINIMUM STANDARDS FOR PROPERTY BOUNDARY SURVEYS" AS JOINTLY ESTABLISHED BY THE KANSAS BOARD OF TECHNICAL PROFESSIONALS AND THAT THE RESULTS OF SAID SURVEY ARE REPRESENTED ON THIS PLAT TO THE BEST OF MY PROFESSIONAL KNOWLEDGE AND BELIEF.

MATTHEW J. SCHLICHT, KSPLS 1586
ENGINEERING SOLUTIONS, LLC, KS CORP LS 218-D



CITY OF LOUISBURG:

THIS LOT SPLIT APPROVED BY THE LOUISBURG, KANSAS PLANNING COMMISSION THIS _____ DAY OF _____, 2026.

By Mike Johnson Jr. Planning Commission Chair Date _____

By Jessica McGowin, City Clerk Date _____

MIAMI COUNTY REGISTER OF DEEDS:

THIS INSTRUMENT WAS FILED FOR RECORD IN THE OFFICE OF REGISTER OF DEEDS ON THE _____ DAY OF _____, 2026, IN BOOK _____ PAGE _____

By Jamie Homrighausen, Register of Deed Date _____

SURVEYOR'S GENERAL NOTES:

- 1) This survey is based upon the following information provided by the client or researched by this surveyor.
(A) Final Plat of Starbrooke-Phase 6, Recorded on January 25th, 2013 on Slide Number P301-00003
- 2) This survey meets or exceeds the accuracy standards of a (SUBURBAN) Property Boundary Survey as defined by the Kansas Standards for Property Boundary Surveys.
- 3) No title report was provided.
- 4) Bearings shown hereon are based upon Final Plat of Starbrooke-Phase 6
- 5) This company assumes no responsibility in the location of existing utilities within the subject premises. This is an above-ground survey. The underground utilities, if shown, are based on information provided by the various utility companies and these locations should be considered approximate. There may be additional underground utilities not shown on this drawing.
- 6) Subsurface and environmental conditions were not surveyed or examined or considered as a part of this survey. No evidence or statement is made concerning the existence or underground or overhead conditions, containers or facilities that may affect the use or development of this property. No attempt has been made to obtain or show data concerning existence, size, depth, conditions, capacity or location of any utility existing on the site, whether private, municipal or public owned.

REVISIONS
DATE

Lot Split Survey-Lots 135A & 135B Starbrooke
Section 32, Township 16, Range 25
Louisburg, Miami County, Kansas

SHEET	SECTION	TOWNSHIP	RANGE	COUNTY	JOB NO.
1	32	16	25	Miami	Lot 135, Starbrooke
DATE OF PREPARATION	December 30, 2025				
SCALE	1"=10'				
DRAWN BY	M. Schlicht, PLS., PE				

PROFESSIONAL SEAL

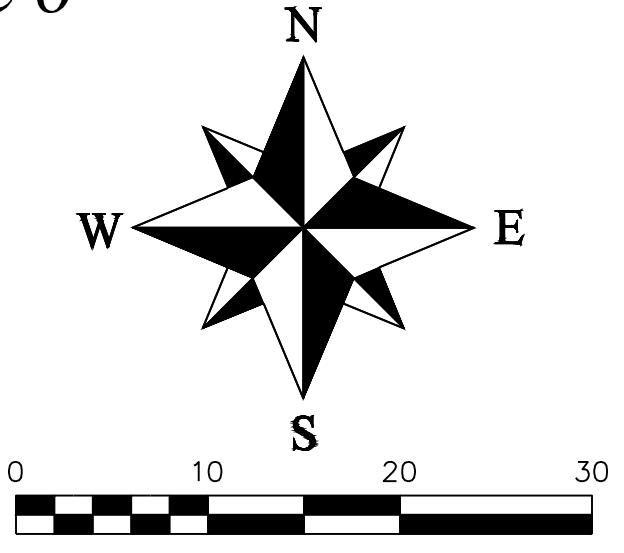
ENGINEERING SOLUTIONS
 ENGINEERING & SURVEYING
 50 SE 30TH STREET
 LEES SUMMIT, MO 64082
 P: (816) 623-9888 F: (816) 623-9849

Lot Split Survey

STARBROOKE - PHASE 6

Lots 136A & 136B

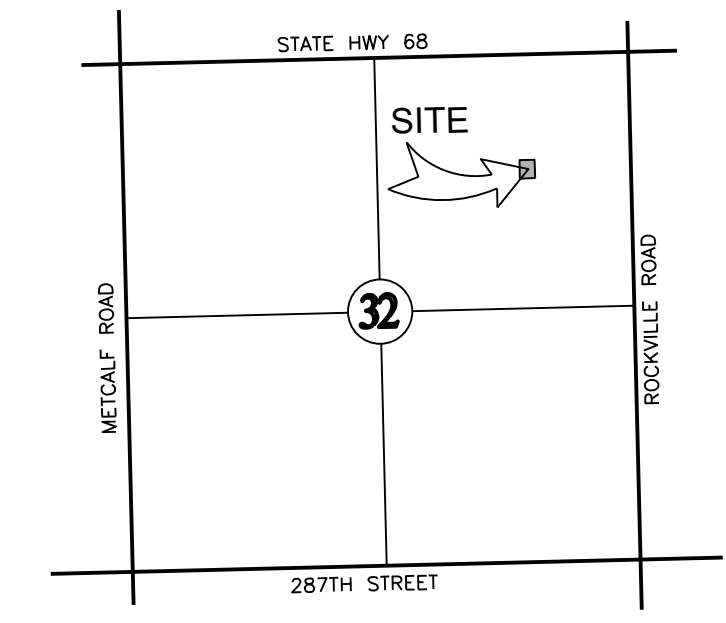
A Replat of Lot 136, Starbrooke - Phase 6
Section 32, Township 16, Range 25
Louisburg, Miami County, Kansas



LEGEND

These standard symbols will be found in the drawing.

● Set 1/2" Rebar & Cop (LS-218)
⊙ Found Survey Monument (As Noted)



LOCATION MAP
SECTION 32-T16-R25

PARENT TRACT DESCRIPTION

ALL OF LOT 136, STARBROOKE-PHASE 6, A SUBDIVISION AS RECORDED IN LOUISBURG, MIAMI COUNTY, KANSAS ON JANUARY 25, 2013 ON SLIDE NUMBER P013-00003. CONTAINING 0.25 ACRES MORE OR LESS

LOT 136A DESCRIPTION

BEGINNING AT THE SOUTHEAST CORNER OF LOT 136, STARBROOKE-PHASE 6, A SUBDIVISION AS RECORDED IN LOUISBURG, MIAMI COUNTY, KANSAS; THENCE NORTH 00° 03' 38" EAST A DISTANCE OF 115.84 FEET; THENCE NORTH 89° 56' 22" WEST A DISTANCE OF 56.00 FEET; THENCE SOUTH 00° 03' 38" WEST, ALONG THE CENTERLINE OF THE DEMISING WALL AND ITS EXTENSIONS OF THE EXISTING DUPLEX, A DISTANCE OF 115.84 FEET; THENCE SOUTH 89° 56' 22" EAST A DISTANCE OF 56.00 FEET TO THE POINT OF BEGINNING. CONTAINING 0.15 ACRES MORE OR LESS

LOT 136B DESCRIPTION

BEGINNING AT THE SOUTHWEST CORNER OF LOT 136, STARBROOKE-PHASE 6, A SUBDIVISION AS RECORDED IN LOUISBURG, MIAMI COUNTY, KANSAS; THENCE SOUTH 89° 56' 22" EAST A DISTANCE OF 39.00 FEET; THENCE NORTH 00° 03' 38" EAST, ALONG THE CENTERLINE OF THE DEMISING WALL AND ITS EXTENSIONS OF THE EXISTING DUPLEX, A DISTANCE OF 115.84 FEET; THENCE NORTH 89° 56' 22" WEST A DISTANCE OF 39.00 FEET; THENCE SOUTH 00° 03' 38" WEST A DISTANCE OF 115.84 FEET TO THE POINT OF BEGINNING. CONTAINING 0.10 ACRES MORE OR LESS

DEDICATION:

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"STARBROOK-PHASE 6 LOTS 136A & 136B"

EASEMENTS

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STREETS

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IN WITNESS WHEREOF

I HAVE SET MY HAND AND AFFIXED MY SEAL THE DAY AND YEAR LAST WRITTEN ABOVE.

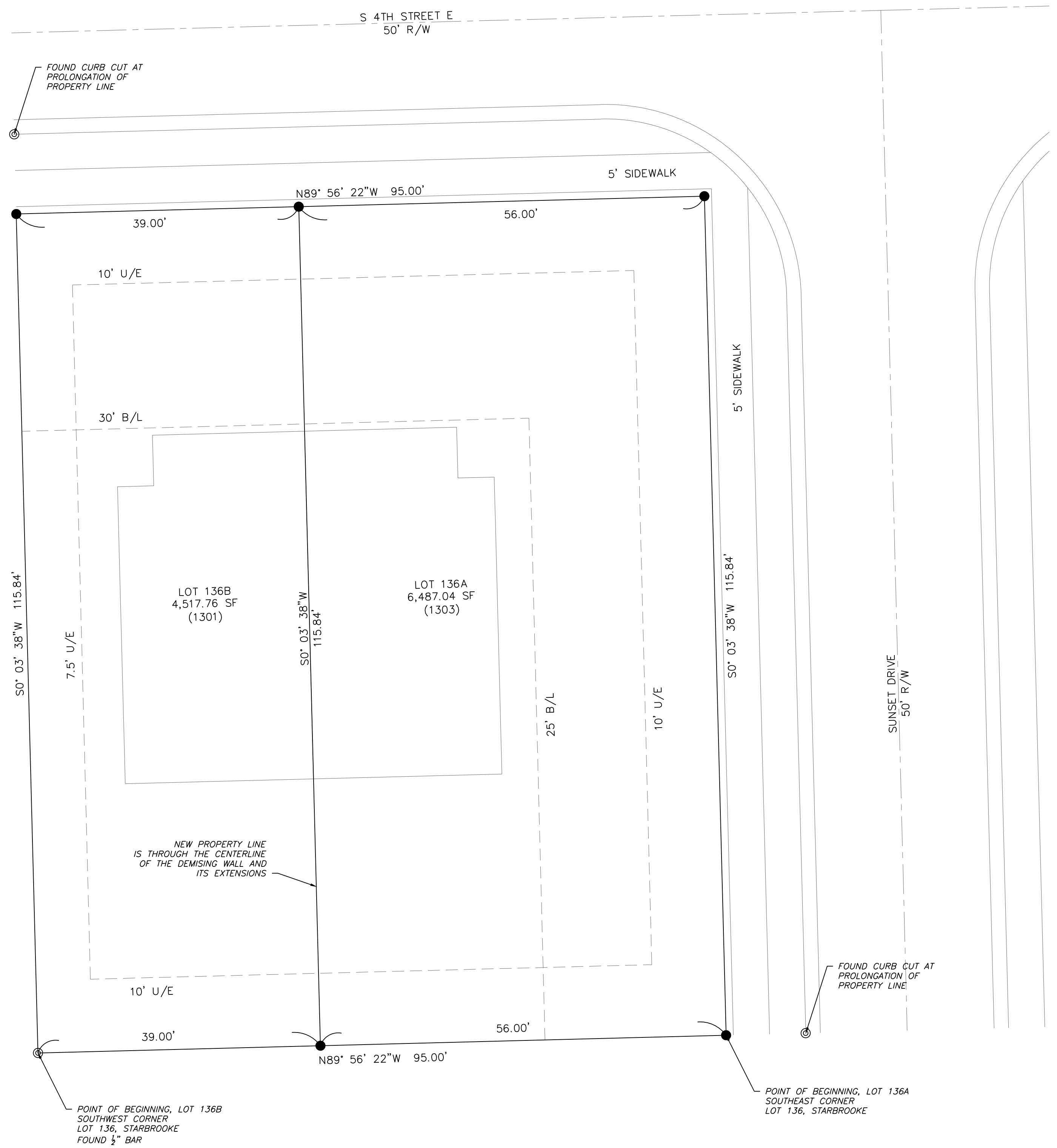
NOTARY PUBLIC

MY COMMISSION EXPIRES

SURVEYOR'S CERTIFICATION:

I HEREBY CERTIFY THAT I HAVE MADE A SURVEY OF THE PREMISES DESCRIBED HEREIN WHICH MEETS OR EXCEEDS THE CURRENT "KANSAS MINIMUM STANDARDS FOR PROPERTY BOUNDARY SURVEYS" AS JOINTLY ESTABLISHED BY THE KANSAS BOARD OF TECHNICAL PROFESSIONALS AND THAT THE RESULTS OF SAID SURVEY ARE REPRESENTED ON THIS PLAT TO THE BEST OF MY PROFESSIONAL KNOWLEDGE AND BELIEF.

DATE: _____
MATTHEW J. SCHLICHT, KSPLS 1586
ENGINEERING SOLUTIONS, LLC, KS CORP LS 218-D



CITY OF LOUISBURG:

THIS LOT SPLIT APPROVED BY THE LOUISBURG, KANSAS PLANNING COMMISSION THIS _____ DAY OF _____, 2026.

By Mike Johnson Jr. Planning Commission Chair Date _____

By Jessica McGowin, City Clerk Date _____

MIAMI COUNTY REGISTER OF DEEDS:

THIS INSTRUMENT WAS FILED FOR RECORD IN THE OFFICE OF REGISTER OF DEEDS ON THE _____ DAY OF _____, 2026, IN BOOK _____, PAGE _____

By Jamie Homrighausen, Register of Deed Date _____

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(A) Final Plat of Starbrooke-Phase 6, Recorded on January 25th, 2013 on Slide Number P301-00003
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- 3) No title report was provided.
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- 6) Subsurface and environmental conditions were not surveyed or examined or considered as a part of this survey. No evidence or statement is made concerning the existence or underground or overhead conditions, containers or facilities that may affect the use or development of this property. No attempt has been made to obtain or show data concerning existence, size, depth, conditions, capacity or location of any utility existing on the site, whether private, municipal or public owned.

REVISIONS
DATE

Lot Split Survey-Lots 136A & 136B Starbrooke
Section 32, Township 16, Range 25
Louisburg, Miami County, Kansas

SHEET	SECTION	TOWNSHIP	RANGE	COUNTY	JOB NO.	
						DATE OF PREPARATION
1	32	16	25	Miami	Lot 136, Starbrooke	
					SCALE	December 30, 2025
					1" = 10'	
					DRAWN BY	M. Schlicht, PLS., PE

PROFESSIONAL SEAL

ENGINEERING SOLUTIONS
ENGINEERING & SURVEYING
50 SE 30TH STREET
LEE'S SUMMIT, MO 64082
P: (816) 623-9888 F: (816) 623-9849



Memo: Item 10

To: Planning Commission

From: Staff

Date: Jan. 22, 2026

Re: Hound Lounge Site Plan

Owner: Morgan Messer, Hound Lounge
Applicant: Morgan Messer
Architect/Engineer: Yutzy Custom Structures

Request:

Morgan Messer owner of the Hound Lounge, a dog grooming service currently located at 408 W. Amity, has recently purchased the property at 108 E. Crestview Drive. Messer would like to build a larger dog grooming facility with additional in-house boarding services in the grass area north of the existing parking lot on this parcel. Staff have determined this use is consistent with the requirements of the City of Louisburg Zoning Regulations and the Bright Future Comprehensive Plan, dated Dec. 4, 2017.

General Property Location: 108 E. Crestview Dr.

Property Size: 1.66 acres

Current Zoning: C-3

Site Map: Property highlighted in teal.



Adjacent Property Zoning:

North – I-1
South – C-3
East – C-3
West – C-3

Former use of the property: This property currently contains an existing parking lot that was constructed in 2017 to serve the former Granny's Schoolhouse daycare center, located across the street to the east,

with an approximate 24,336 sq ft grassy area to the north of the lot.

Site Plan Comments:

- The subject property is located on the northern inner curve of Crestview.
- The applicant plans to construct a 40'x60' stud frame building to house dog grooming and boarding services.
- A parking lot with entrance/exit to E. Crestview Drive exists and will serve this new commercial structure. The parking lot has 47 spaces. Eight of the nine spaces along the north side of the parking lot will be removed with one ADA space remaining. The other 38 spaces will remain as is.
- The parking lot has existing lighting. There are four street pole style lights with two on the west side of the parking lot and two on the north side. One or both of the north lights may need to be removed per Evergy. There are two decorative shorter lights in the parking lot islands.
- The entrance to the building will face south and overlook the parking lot.
- The dog runs, located inside the building, will open to outside runs all located on the north side of the building. The runs will extend 8 ft past the building.
- An 8-ft. privacy fence will be constructed around the back of the property to shield the runs and an off-leash dog play area for boarding clients.
- The building's gutters will daylight to the east side of the building.

Signage:

The applicant will bring in signage for review and approval as a separate submittal package. All proposed signage will meet the requirements of Article 8 of the City of Louisburg Zoning Regulations and will need to acquire permits prior to placement on the building or parcel.

Lighting:

The only additional lighting will be added to the building and will be down-directed with cut-offs.

Elevations/Design:

- The building is proposed to be 18 ft or less in height to the top of the roof, which meets the maximum height specified by the C-3 section of the Zoning Regulations.
- A canopy will overhang the front entry doors.

Landcape:

The property already has significant landscape and meets the requirements for the lot's square footage. There are 5 bushes at the lot entrance, and 10 deciduous trees scattered on the west and

north sides of the parking lot. None of the trees will be removed for the construction. There are ornamental grasses planted under the trees on the west side of the parking lot. The parking lot islands contain an ivy-type ground cover. There are 16 evergreens located on the south side of the parking lot.

Sidewalks:

An existing sidewalk extends from the south property line to the sidewalk that extends from the parking lot east to Crestview. No sidewalk exists from that point around the property to the west side. There is an existing sidewalk on the west side of the property located south of this parcel. Planning Commission should determine if there is desire to have the applicant extend the sidewalk around to the west side of the property. Sidewalks are located on the outer circle of Crestview from Amity at East Crestview to Amity at West Crestview.

Fees:

Excise Tax: Not applicable as the parcel has already been platted.

Sidewalk Fee: to be determined

Building Permit Fees: Will be based on cost of the project at the time of Building Permit review and approval.

Staff Comments:

Staff will note the applicant had been working with former Planning & Development Director Katherine Louderbaugh on this site plan. The applicant had faced some delays in her process as she was working with the Small Business Administration on financing and the government shut-down this fall impacted that. She is now working as quickly as possible to move forward with construction before her current lease expires. Staff had told her dirt work could commence on the site before the weather turned this winter.

Staff Recommendation:

Staff recommends the Planning Commission approve Case 26001-LS, Site Plan at 108 E. Crestview Drive, with the following stipulations:

1. The owner shall submit required plans and obtain proper permits from the Louisburg Planning & Development Department prior to any construction. All contractors must be licensed in Miami County.
2. Any changes to the proposed plans after approval that alter the footprint of the structures and buildings must be approved by the Planning Commission through the Site Plan process outlined in Article 11 of the Louisburg Procedures Manual.
3. Any minor changes to the proposed plan during the building permit phase of the project must be identified to city staff to verify and approve compliance with the Zoning Regulations.
4. No new structures on site shall exceed a maximum height of 45 ft per section 509, "C-3" General Business District of the City of Louisburg Zoning Regulations.
5. A set of fully engineered, stamped building plans will be required at the time of submittal for building permit.
6. All lighting shall be shielded, directed downward and will be directed away from adjacent properties.
7. The proposed building shall have a sloped roof with three or more sloped planes, per the City of Louisburg Zoning Regulations.

8. Dumpsters are not required for this site as long as the applicant uses a poly cart to be located behind the fence.
9. All proposed site improvements shall meet all applicable building code requirements of the City of Louisburg.
10. All exterior building materials shall meet the requirements of Section 618, Design Standards, of the Louisburg Zoning Regulations.
11. Any required sidewalks and concrete shall be installed as per the City of Louisburg Concrete Design Standards and the City of Louisburg Zoning Regulations.
12. No signage is approved with this application. All proposed signage shall be submitted in a separate administrative sign package for review and will be subject to all pertinent requirements of Article 8, Sign Regulations, of the Louisburg Zoning Regulations.
13. No outdoor storage, except the display of merchandise for sale to the public, shall be permitted.
14. Per Section 618 C-1, Design Standards of the Louisburg Zoning Regulations, all rooftop equipment shall be screened with 100% opacity or isolated so as not to be visible from ground level of any adjacent public thoroughfare, up to a maximum of three hundred (300) feet away. The appearance of roof screens shall be coordinated with the building to maintain a unified appearance.
15. Per Section 618 C-2, Design Standards of the Louisburg Zoning Regulations all electrical and mechanical equipment located adjacent to the building and visible from any adjacent public thoroughfare shall be screened from view (100% opacity), up to a maximum of 300 ft away. Such screens and enclosures shall be treated as integral elements of the building's appearance.
16. New landscaping shall be kept healthy and in good condition. Any plantings that are identified during final inspection as unhealthy shall be provided 60 days from inspection to be treated. If the plants are found to still be diseased or dying upon later inspection, plantings shall be replaced with the same species and quantity of plant material.
17. No construction shall be allowed between the hours of 10:00 p.m. to 7:00 a.m. with no construction permitted on Sundays.
18. Construction traffic shall enter the site through a graveled construction entrance or a curb cut may be made and repaired after construction is complete before Certificate of Occupancy is granted.
19. Erosion control shall be maintained on site for the duration of the construction period (via silt fencing or straw waddles). Should said erosion control measures fail at any time, it shall be reconstructed as soon as possible. Erosion control measures shall also be in place post-construction until a certificate of occupancy is issued.
20. In addition to the stipulations listed in this report, the property owner agrees to abide by all ordinances of the City of Louisburg Zoning Regulations, Subdivision Regulations, and Municipal Code, unless an exception has been granted, and to execute a statement acknowledging in writing the owner agrees to stipulations one through 25.

Sample motion: *I move to approve Case 26001-LS (Lot Split) for the Hound Lounge, 108 E. Crestview Dr. with the stated stipulations.*

Or alternatively: *I move to approve Case 26001-LS (Lot Split) for the Hound Lounge, 108 E. Crestview Dr. with changes to stipulations # _____ to _____., (list all stipulation changes individually)*

Morgan Messer
40'x60'x9' Stud Frame Building

Building Colors:
Siding: Brilliant White
Wainscoat: Charcoal
Trim: Charcoal
Roof: Charcoal
Porch ceiling: Brilliant white
Doors: White
Misc. Detail: Condensation Barrier on
roof and sides

Signed by:

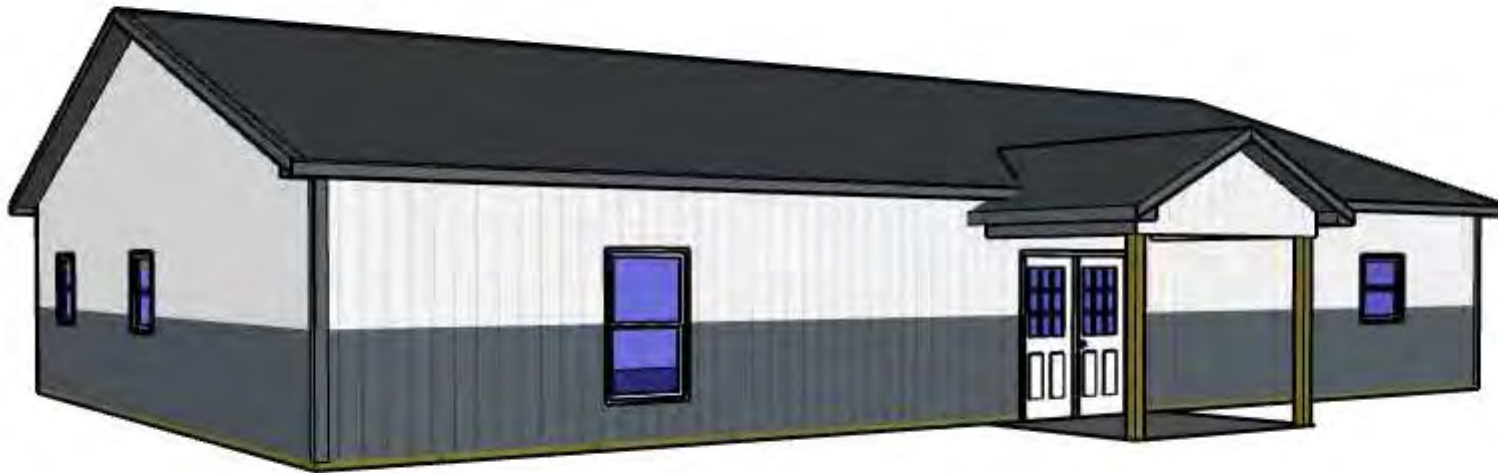


DocuSigned by:

Joel Wicoff

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12/31/2025 | 2:17 PM CST



Cover sheet

No scale



Yutzy Custom Structures
24917 N HWY 169
785-448-2191
www.yutzyconstruction

Customer:
Morgan Messer
108 E Crestview Drive
Louisburg Ks, 66053

PAGE: 1


CODES USED:

2018 INTERNATIONAL BUILDING CODE
RISK CATEGORY: 2
ROOF LIVE LOAD: 20 PSF
ROOF SNOW LOAD: 20 PSF (FLAT ROOF SNOW LOAD)
PG: 20 PSF (GROUND SNOW LOAD)
CE: 1.0 (SNOW EXPOSURE FACTOR)
IE: 1.0 (SNOW IMPORTANCE FACTOR)
CT: 1.0 (THERMAL FACTOR)
WIND LOADS: BASIC WIND SPEED 115 MPH.
WIND IMPORTANCE FACTOR: 1.0
WIND EXPOSURE: C
SEISMIC SITE CLASS: D
SEISMIC DESIGN CATEGORY: A

PROJECT INFORMATION

PROJECT LOCATION:
Morgan Messer
108 E Crestview Drive
Louisburg Ks, 66053

CONSTRUCTION TYPE:
TYPE VB
CONSTRUCTION

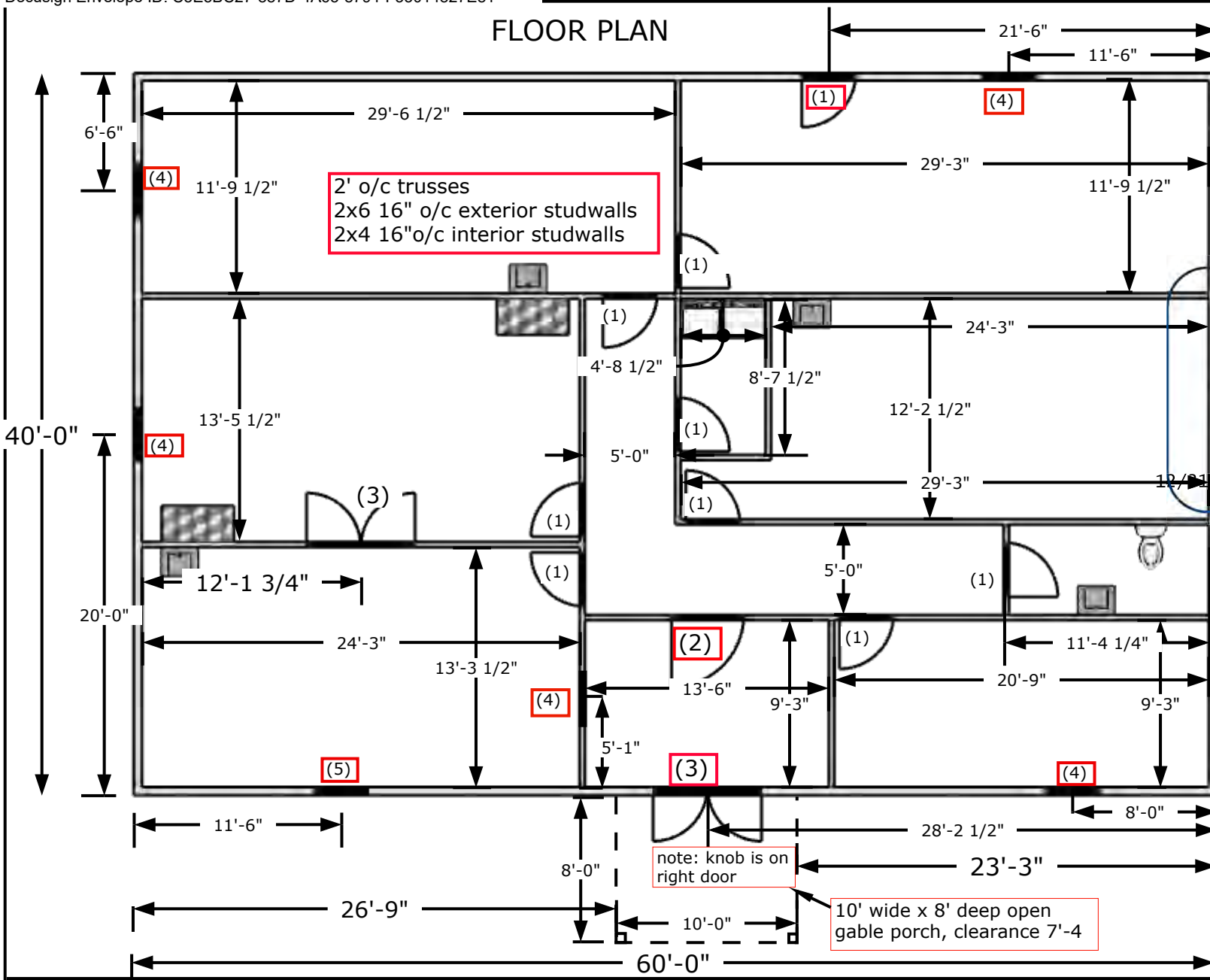
Signed by:

DocuSigned by:
Joel Wicoff
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12/31/2025 | 2:17 PM CST



Yutzy Custom Structures
24917 N HWY 169
785-448-2191
www.yutzyconstruction

Customer:
Morgan Messer
108 E Crestview Drive
Louisburg Ks, 66053

FLOOR PLAN



- (1) 36" entry door
- (2) 48" entry door
- (3) 6'x6'8 entry door
- (4) 3x3 window
- (5) 3x5 window

2' o/c trusses
 2x6 16" o/c exterior studwalls
 2x4 16" o/c interior studwalls

Signed by:

DocuSigned by:



NORTH

12/21/2025 | 2:17 PM CST

Notes:
 Windows and doors highlighted in red will be installed by YCS, see page 4 for concrete plan, see other pdf drawing for plumbing plan

note: knob is on right door

10' wide x 8' deep open gable porch, clearance 7'-4"

1/8" = 1' scale

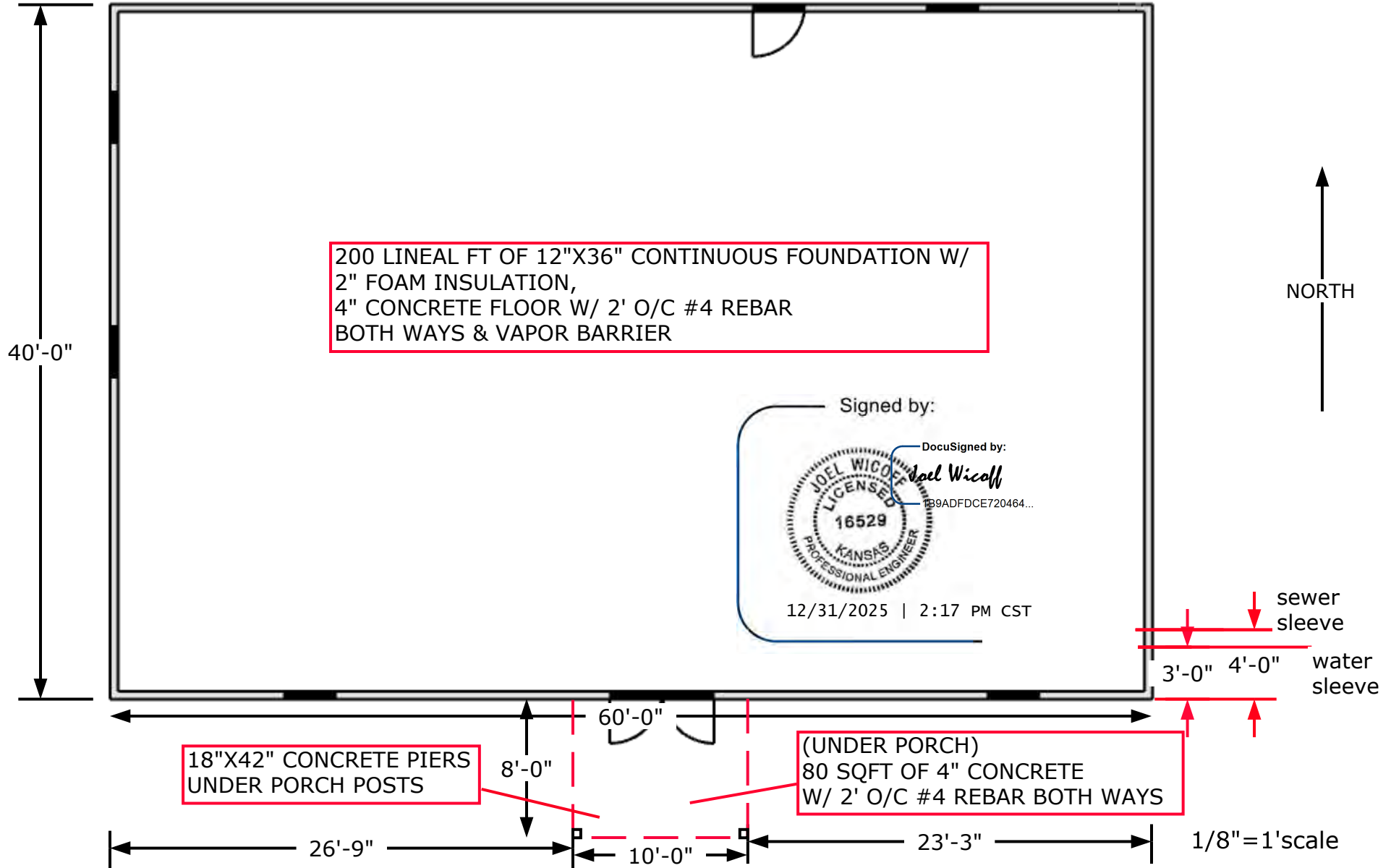


Yutzy Custom Structures
 24917 N HWY 169
 785-448-2191
 www.yutzyconstruction

Customer:
 Morgan Messer
 108 E Crestview Drive
 Louisburg Ks, 66053

PAGE: 3

CONCRETE PLAN

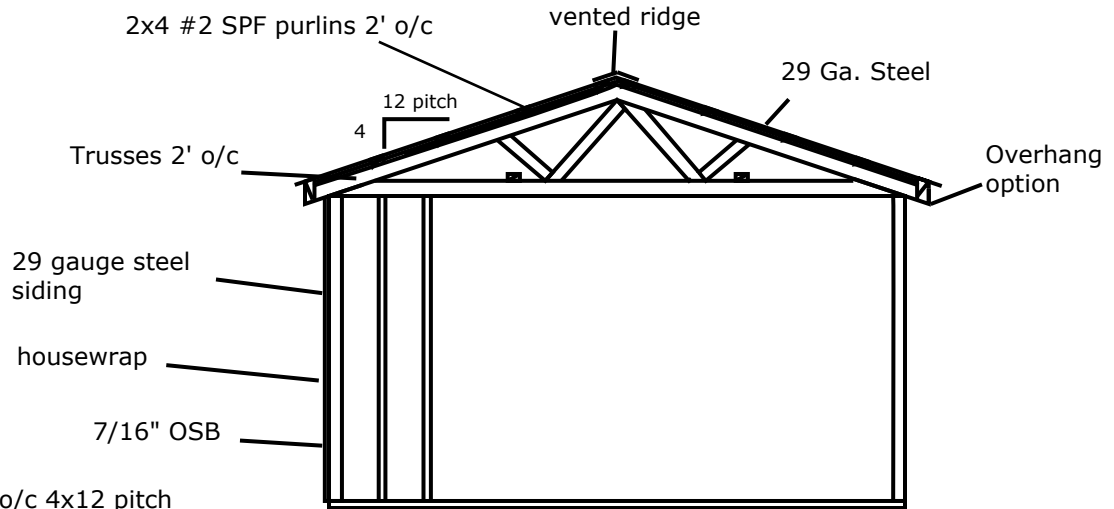


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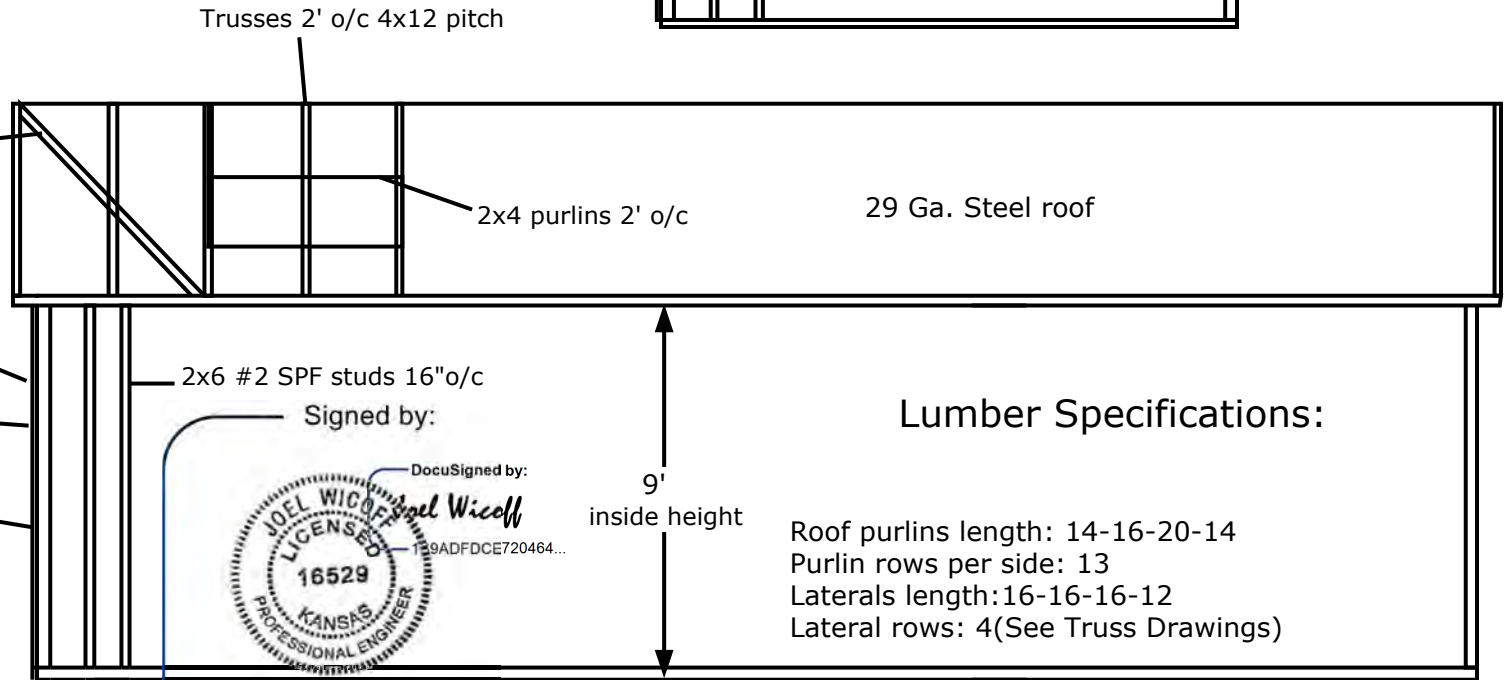
Customer:
Morgan Messer
108 E Crestview Drive
Louisburg Ks, 66053

Typical Stud Wall Section

DISTANCE FROM FINISHED FLOOR TO BOTTOM OF FRAMED OPENINGS FOR ALL WINDOWS SHALL BE NO LESS THEN 18"; UNLESS STATED OTHERWISE.(this is taken into consideration when building is being designed)
 IF DISTANCE FROM FINISHED FLOOR TO BOTTOM OF WINDOWS IS LESS THAN 18" IT MUST HAVE TEMPERED GLASS IN ACCORDANCE W/ 2018 IRC



2x4 #2 SPF Diagonal brace fastened from peak to top of wall under top chord of truss



Signed by:



DocuSigned by:
 Joel Wicoff
 139ADFDC720464...

12/31/2025 | 2:17 PM CST

Lumber Specifications:

Roof purlins length: 14-16-20-14
 Purlin rows per side: 13
 Laterals length: 16-16-16-12
 Lateral rows: 4(See Truss Drawings)

(Not to Scale)

S-10



Yutzy Custom Structures
 24917 N HWY 169
 785-448-2191
 www.yutzyconstruction

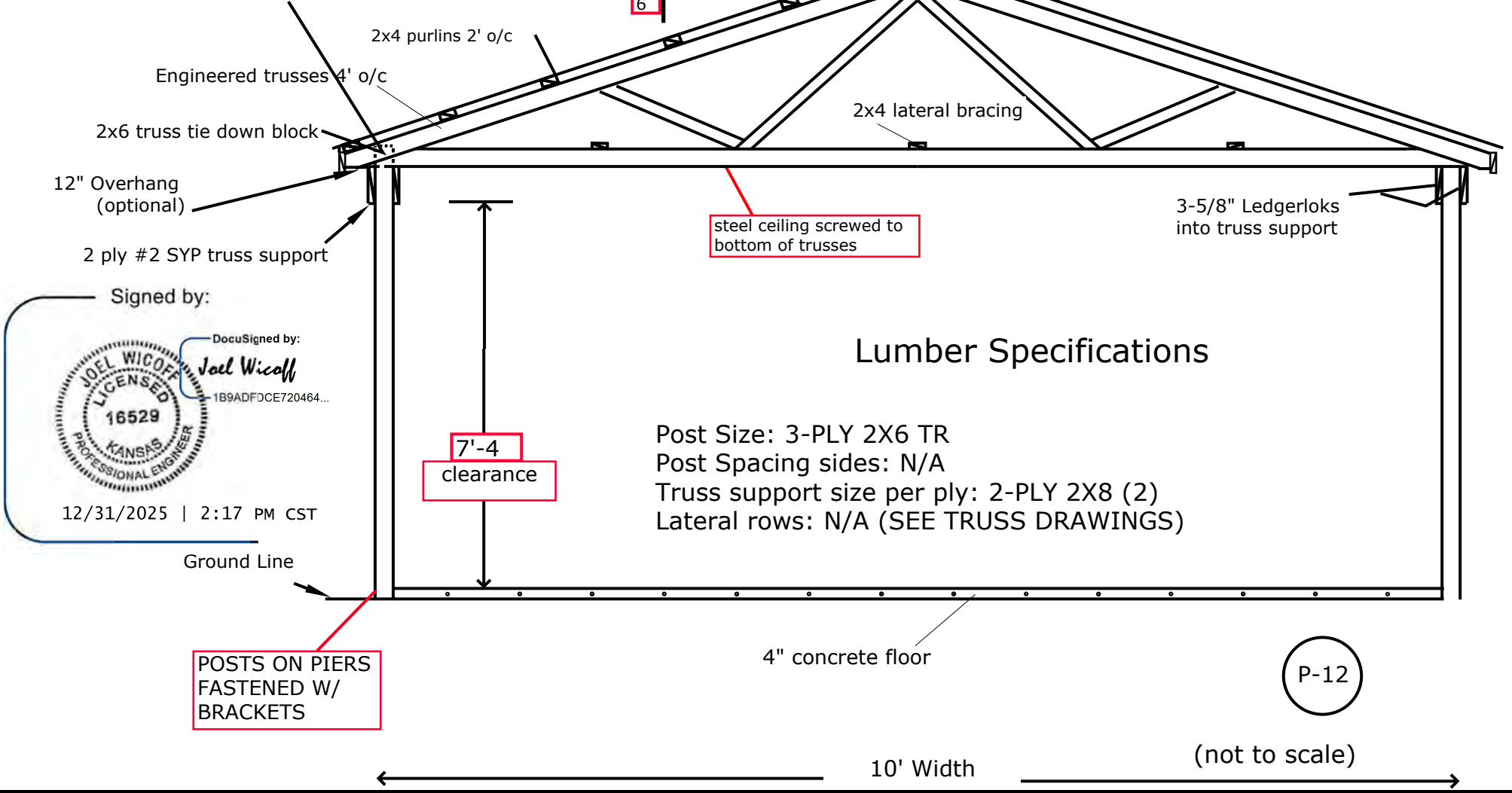
Customer:
 Morgan Messer
 108 E Crestview Drive
 Louisburg Ks, 66053

Typical Gable Porch Section w/purlins

Under (Lumber Specifications) you will see the ()=Quantity of ledgerloks thru truss support into each post.
When a 3-PLY truss support is required notch the 3rd ply into 1-side of the post and use 5" Ledgerlok to secure the side with the doubled up truss support to the post

Trusses at Column locations to bear on 1 ply of laminated column.
Fasten to remaining plys with 4-16d Nails & 2-3 5/8"Ledgerlok Fasteners.

Trusses located between columns are saddled between 2-2x6 #2 SPF tie down blocks using 4-16d nails per block & 2-3 5/8" Ledgerlok per Truss




Lumber Specifications

Post Size: 3-PLY 2X6 TR
Post Spacing sides: N/A
Truss support size per ply: 2-PLY 2X8 (2)
Lateral rows: N/A (SEE TRUSS DRAWINGS)

Signed by:

DocuSigned by:
Joel Wicoff
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12/31/2025 | 2:17 PM CST

POSTS ON PIERS FASTENED W/ BRACKETS

P-12



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Louisburg Ks, 66053

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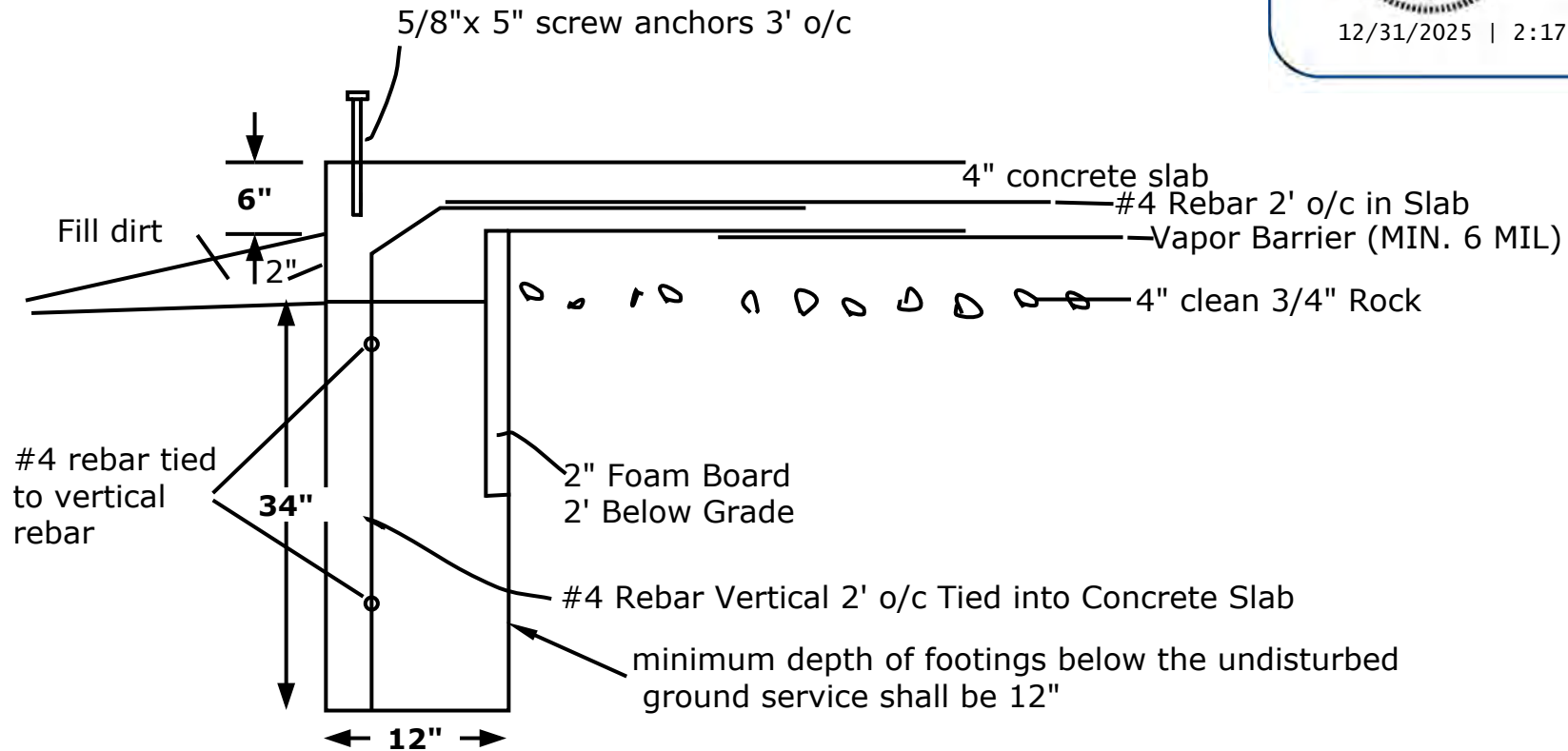
Foundation Detail

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Joel Wicoff
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F-1

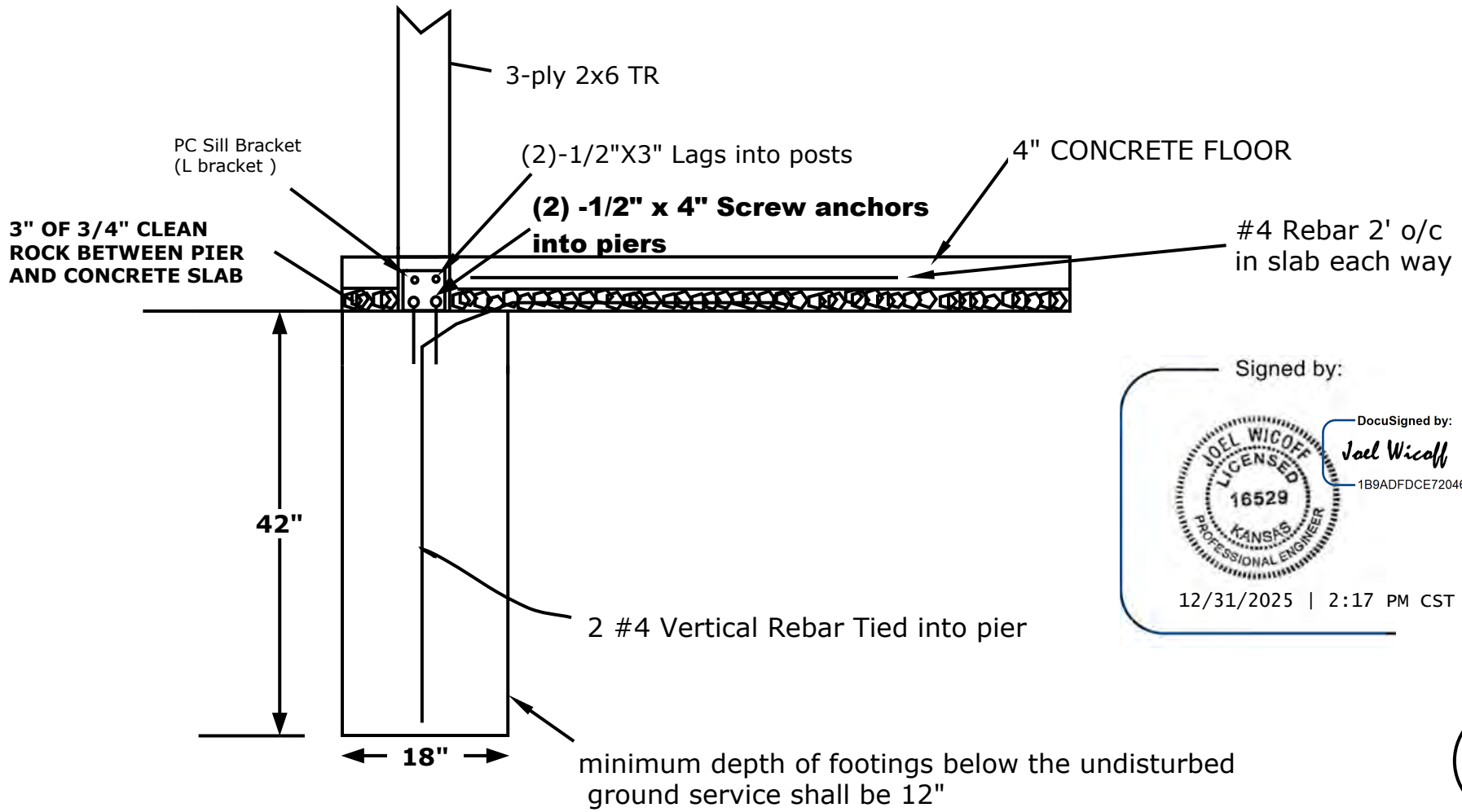
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Customer:
Morgan Messer
108 E Crestview Drive
Louisburg Ks, 66053

Pier plan w/ posts fastened to piers (Lean-to)



Signed by:

DocuSigned by:
Joel Wicoff
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 12/31/2025 | 2:17 PM CST

F-9

No scale



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Customer:
 Morgan Messer
 108 E Crestview Drive
 Louisburg Ks, 66053

PAGE:8

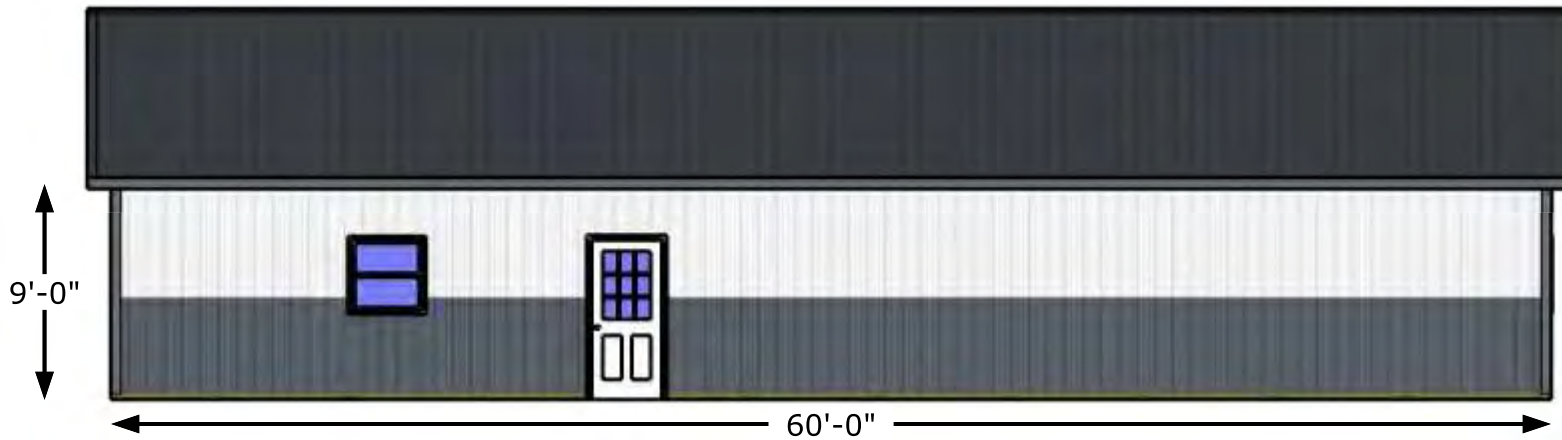
ELEVATION VIEW



Signed by:



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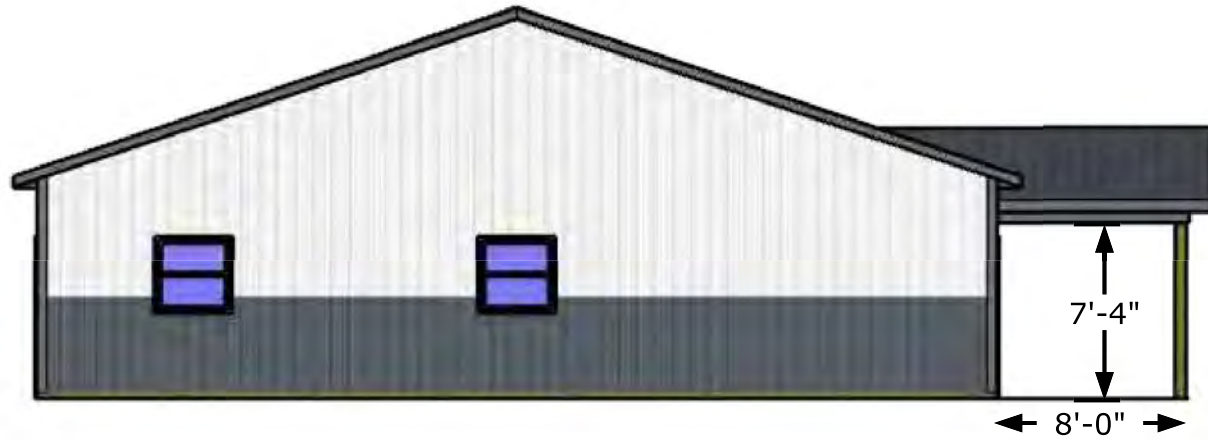
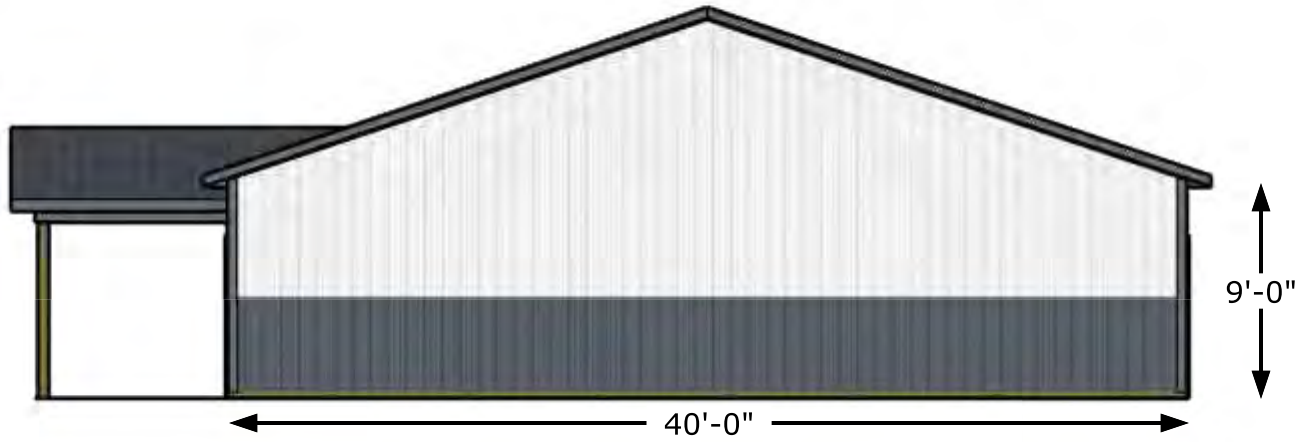
1/8"=1'scale



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Customer:
Morgan Messer
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Louisburg Ks, 66053

ELEVATION VIEW



Signed by:



DocuSigned by:

Joel Wicoff

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12/31/2025 | 2:17 PM CST

1/8" = 1' scale



Yutzy Custom Structures
24917 N HWY 169
785-448-2191
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Customer:
Morgan Messer
108 E Crestview Drive
Louisburg Ks, 66053



Memo: Item 11

To: Planning Commission

From: Staff

Date: Jan. 23, 2026

Re: Change to 25004-SP – Site Plan for USD 416 baseball/softball fields

Residents who live along Countryside Drive have approached City Council recently with concerns about the parking area located off the south end of Countryside Drive to USD 416's southern sports fields. Between the Jan. 5 and Jan. 20 meeting, City Administrator Law worked with the school district to find a agreeable solution.

At its Jan. 20 meeting, Administrator Law informed Council the school district had agreed to expand the parking area off Wildcat Drive and, while not closing the parking area off Countryside, to instead focus parking off Wildcat Drive. At that meeting Law said this was discussed in a recent school board meeting in which board members asked if it were possible to pave the parking lot in two or three years. City Council asked Planning Commission to review this change to the site plan and recommended that Planning approve the expanded gravel lot at Wildcat Drive and not set a timeline for it to be paved.

Since the Jan. 20 meeting, the school has updated its plans to include removing rock from the south lot and moving it to the north lot to use it as a base and expand and pave that existing parking lot to create approximately 40 parking spaces. The lot would be 180 ft x 60 ft. The district also plans to make the entrance to that lot wider to accommodate in/out traffic. Concrete would be installed from the street to south of the sidewalk until reaching the asphalt. The work will commence in April and be complete by June this year. The school district is no longer asking for a waiver to leave the lot gravel.

Attached is a memo from USD 416 that outlines the plans for the lot in full detail.

Legal: None

Financial: None

Recommendation: Approve the change to USD 416 site plan as requested.

Sample motion: *I move to approve the change to 25004-SP for USD 416 baseball/softball fields to include enlarging the parking area off Wildcat Drive, paving it and enlarging the entrance to the lot.*



Louisburg Unified School District No. 416

29020 Mission Belleview – P. O. Box 550
Louisburg, KS 66053

Phone: (913) 837-1700

Fax: (913) 837-1701

usd416@usd416.org

January 21, 2026

RE: Parking Lot Improvements

To: Nathan Law, City of Louisburg Administrator
City of Louisburg Planning Commission

As the district moves through the construction phases of the sports complex, I wanted to provide you some updates to two of the school district's parking lots.

- Parking Lot located at the end of Countryside Drive
 - The district plans to remove all loose gravel/rock around the sides of this parking lot.
 - The district plans to place dirt up to the sides of the existing parking lot.
 - The district plans to seed with grass the new dirt areas around the parking lot.
 - This work should take place by April 2026.



- Parking Lot located southwest of Louisburg High School, south of Wildcat Drive
 - The district plans to take the gravel from the Countryside Drive parking lot and use as base for expansion of the lot off Wildcat Drive.
 - The district plans to put in an asphalt parking lot that will measure 180 feet (north/south) and 60 feet (east/west). This parking lot will allow for approximately 38-40 parking spaces. This would eliminate the existing gravel lot in this area.
 - The district would make the entrance to the parking lot wider as it is currently only 16 feet. Concrete would be installed between the street and sidewalk, as well as south until the new asphalt.
 - This new, asphalt parking lot should be installed no later than June 2026.



I appreciate the great partnership the school district has with the City of Louisburg.

Sincerely,

Brian R. Biermann

Dr. Brian R. Biermann
Superintendent of Schools
Countryside Drive Parking Lot:

PROPOSAL REQUEST NO. 1

CONTRACTOR: Sands Construction Co.

PROJECT NO. 24242.00

OWNER: Louisburg School District, USD 416

PROJECT NAME: Baseball-Softball Fields

DATE: 11/17/25

The Owner requests an itemized proposal for proposed modifications to the Construction Documents as described below and/ or described in attached documentation. The proposal should include changes to the Contract Sum and to the Contract Time as applicable. The Contractor shall submit proposal within (14) calendar days or notify the Architect within three (3) days of when the proposal will be submitted.

Description:

This proposal request is being issued to seek pricing for constructing (4) varsity dugouts out of split face concrete masonry units in lieu of the shipping container structures shown in the original document set.

Refer to Attachments PR-01-A through -D for scope of proposed work architecturally. Additionally see Bob D. Campbell's Attachment PR-01-E for structural direction. Please provide pricing for this work in addition to a credit for the as-designed shipping container dugouts.

THIS IS NOT A CHANGE ORDER, CONSTRUCTION CHANGE DIRECTIVE, NOR A DIRECTION TO PROCEED WITH WORK DESCRIBED HEREIN.

Requested by the Architect:

Hollis + Miller Architects

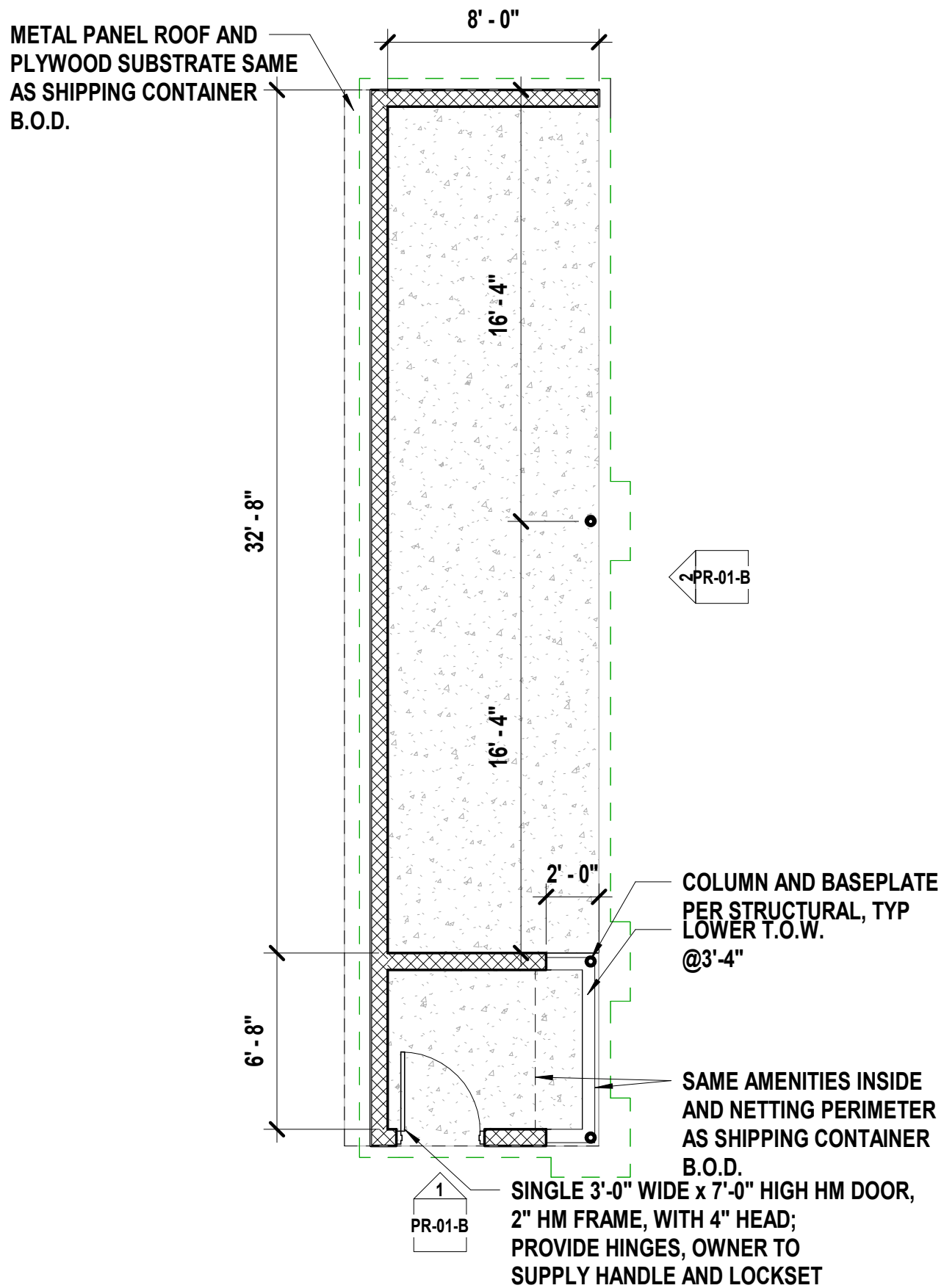
Signature 

Grant Thome, Project Lead

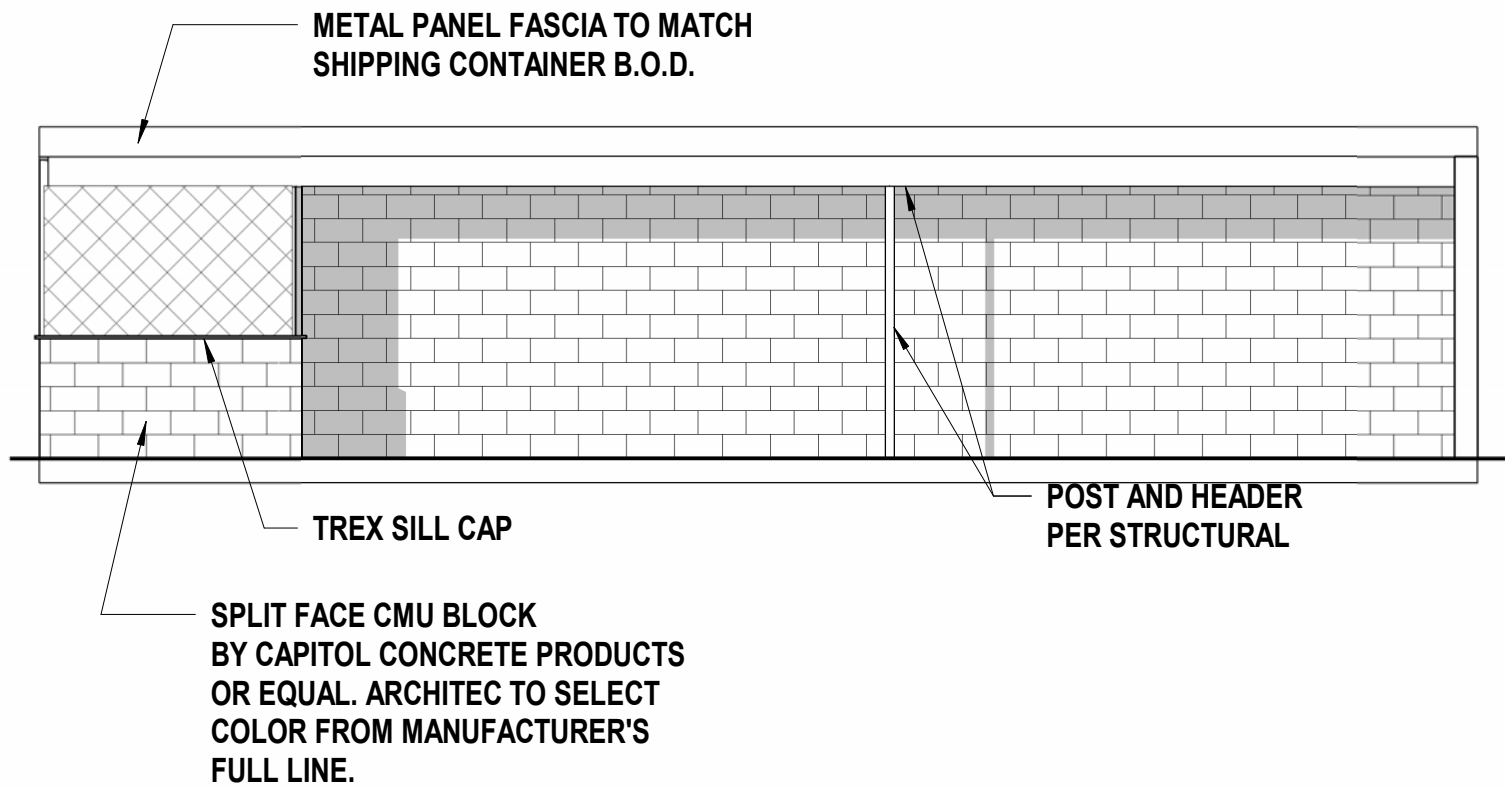
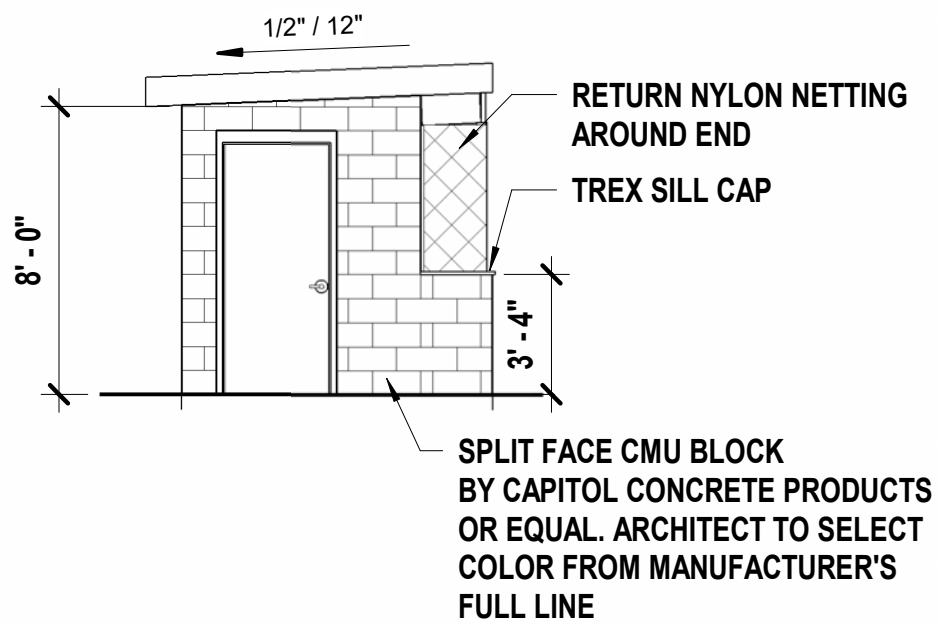
Printed Name and Title

Cc:

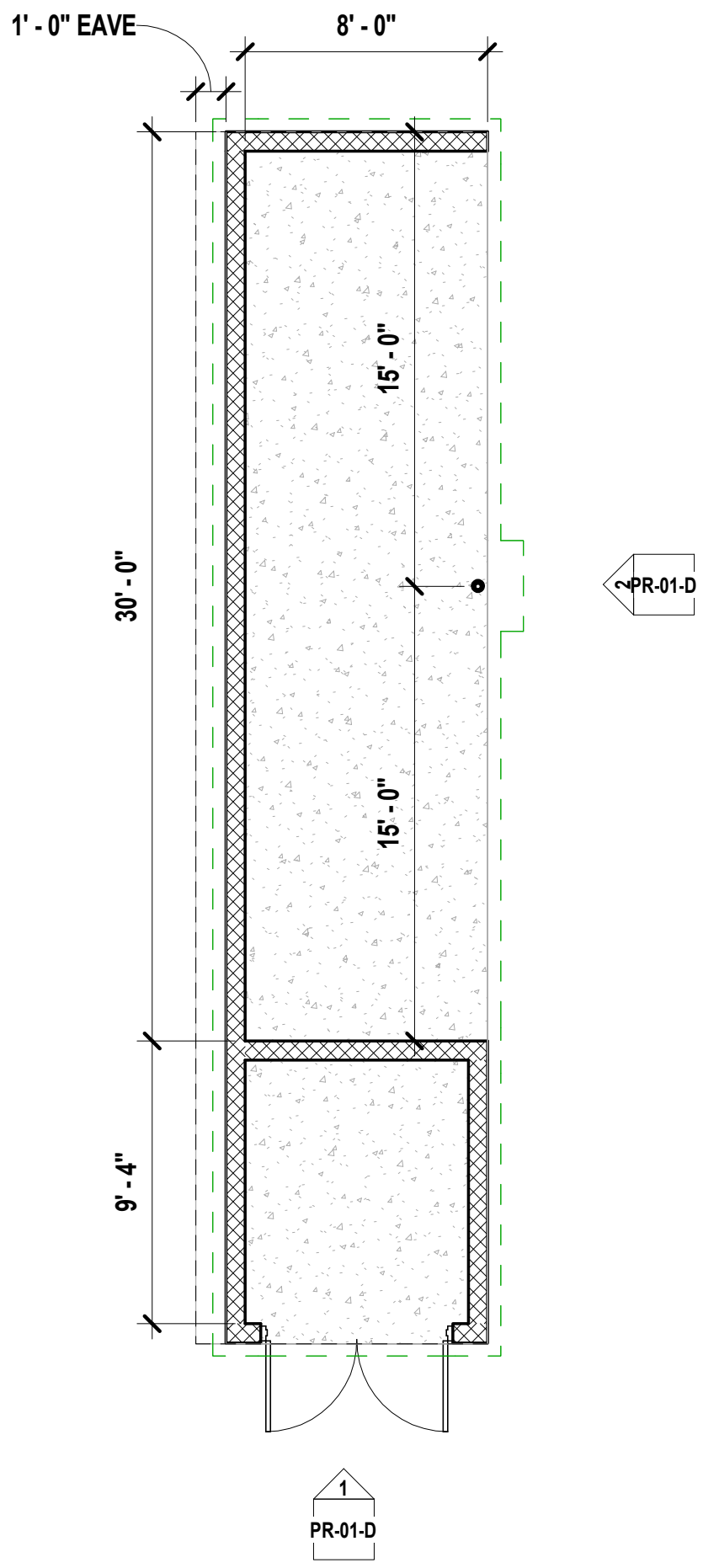
document2



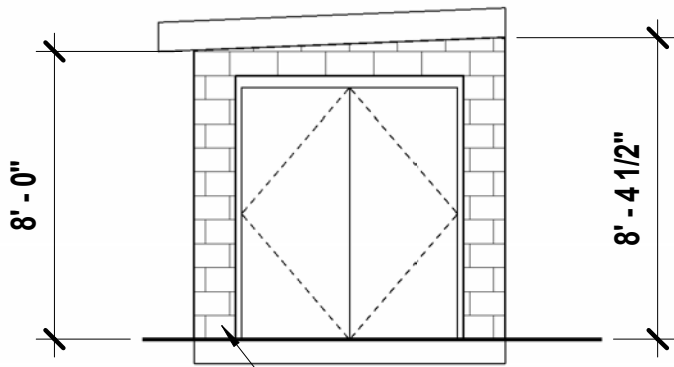
Attachment PR-01-A - Typical Home Dugout Plan
 Scale: 3/16" = 1'-0"



Attachment PR-01-B - Home Dugout Elevations
 Scale: 3/16" = 1'-0"

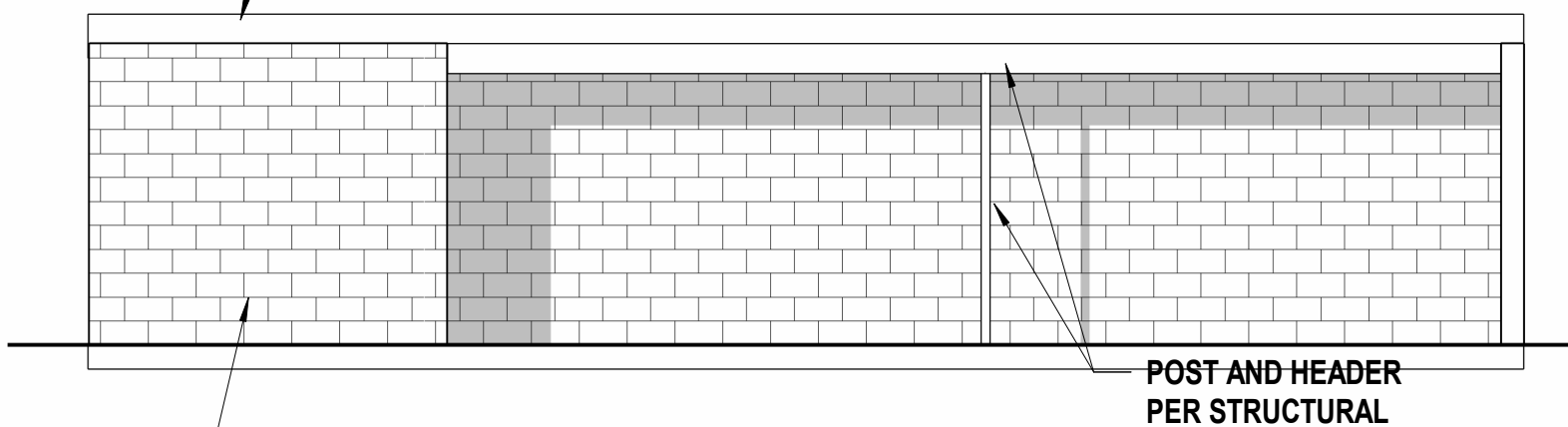


Attachment PR-01-C - Typical Away Dugout Plan
 Scale: 3/16" = 1'-0"



SPLIT FACE CMU BLOCK
BY CAPITOL CONCRETE PRODUCTS
OR EQUAL. ARCHITECT TO SELECT
COLOR FROM MANUFACTURER'S
FULL LINE

METAL PANEL FASCIA TO MATCH
SHIPPING CONTAINER B.O.D.

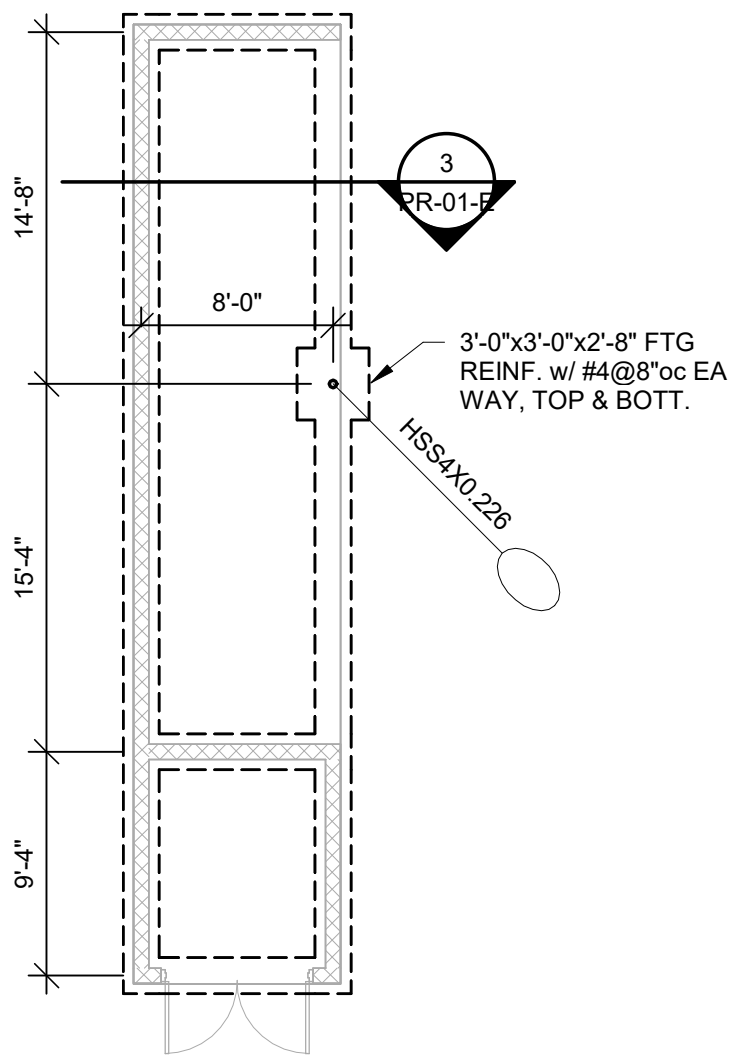


SPLIT FACE CMU BLOCK
BY CAPITOL CONCRETE PRODUCTS
OR EQUAL. ARCHITECT TO SELECT
COLOR FROM MANUFACTURER'S
FULL LINE.

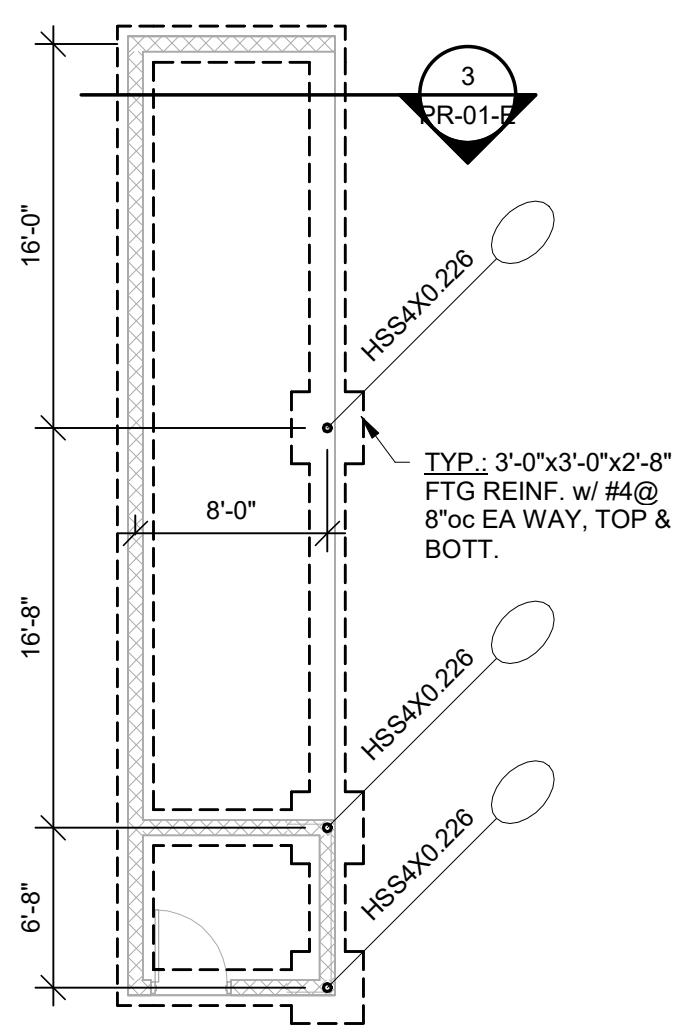
POST AND HEADER
PER STRUCTURAL

Attachment PR-01-D - Away Dugout Elevations

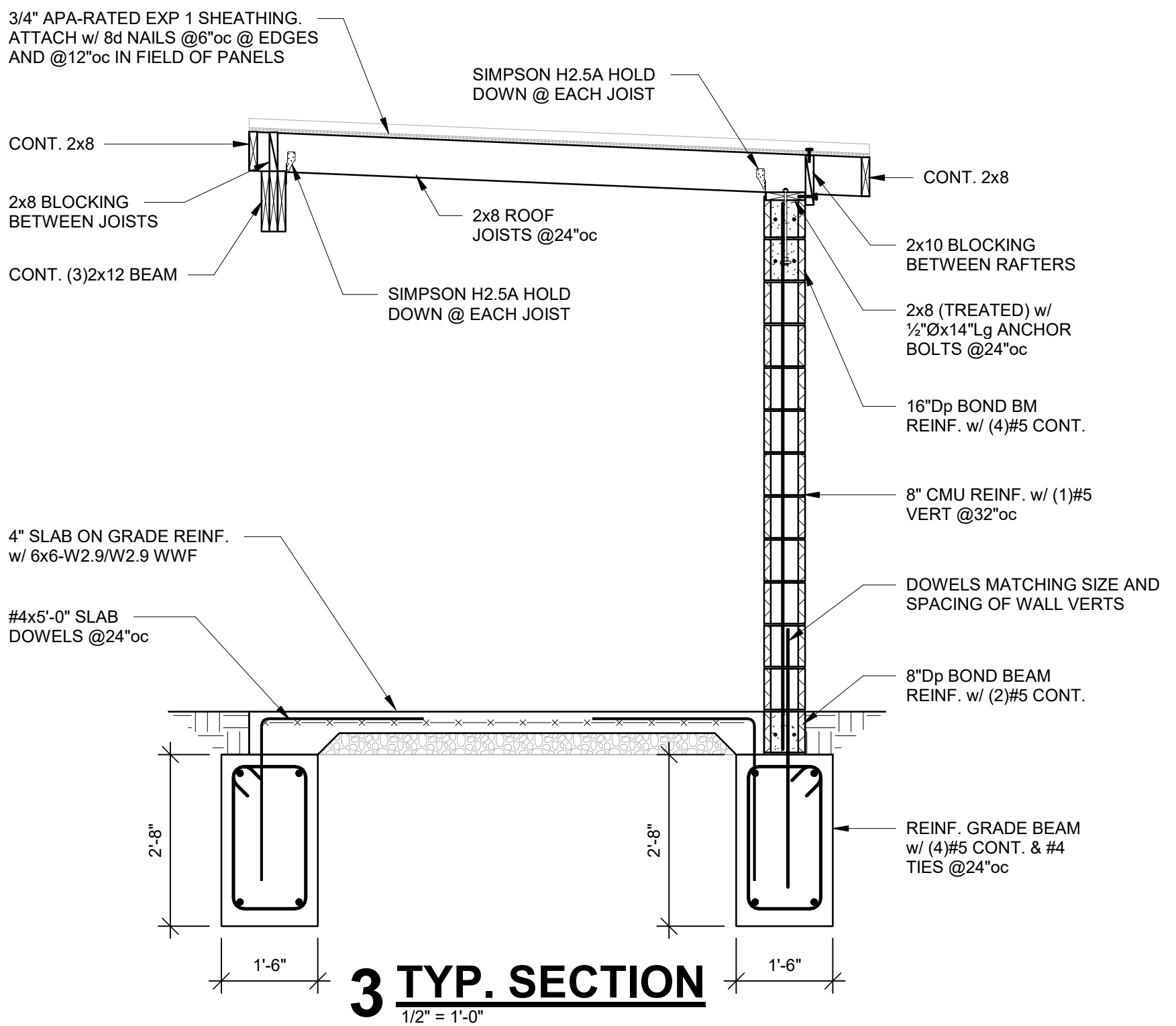
Scale: 3/16" = 1'-0"



1 TYP. DUGOUT LAYOUT
1/8" = 1'-0"



2 TYP. DUGOUT LAYOUT
1/8" = 1'-0"



3 TYP. SECTION
1/2" = 1'-0"



Memo: Item 12

To: Planning Commission

From: Staff

Date: Jan. 22, 2026

Re: Planning & Development Annual Report and Year-End Wrap-Up

At the December meeting, former Planning & Development Director Katherine Louderbaugh intended to present an annual development report for Planning review. The information was provided to the City Council at its Dec. 15 meeting ahead of the scheduled December Planning meeting.

Louderbaugh also compiled a review of 2025 Planning action. That information was presented to the City Council at its Jan. 20 meeting when Council receives annual reports from all boards/commissions/committees.

Legal: None

Financial: None

Recommendation: Receive and file.



To: Planning Commission

From: Katherine Louderbaugh, AICP – Planning & Development Director

Date: December 11, 2025

Re: 2024 Planning & Development Annual Report

During staff review of processes and procedures with the city, it was decided it would be helpful to do a yearly review of Louisburg's Planning processes, permits, etc. This could be compiled into a document that could be used for future planning or as a standalone document for the public to see what was happening in Louisburg. Staff looked at other jurisdictions that provide this sort of report, including Spring Hill, Kansas City, MO, and others to understand what kind of info should be included. This document could be updated on an annual basis to provide demographic and permitting data and then provided to both the Planning Commission and City Council as a reference.

This report is also being provided to Council ahead of the Dec. 15th meeting for review.

Financial: None.

Recommendation: Read & file.

City of Louisburg, KS

Planning &
Development
Annual Report

2024

Louisburg
CLOSE-KNIT • CLOSE TO EVERYTHING ^{KS}



Acknowledgements

City Council

Donna Cook – Mayor

Scott Margrave – Ward 1

Tiffany Ellison – Ward 2

Ryan Graves – Ward 3

Kalee Stone – Ward 4

Steve Town – At-Large / Mayor Pro-Tem

Planning Commission

Michael Johnson Jr. – Chair

Chris Hoffman – Vice-Chair

Andrew Ball – Secretary

Christian Brown

Jason Crooks

Thorvald McKiernan

Stephanie Parker

City Staff

Nathan Law – City Administrator

Katherine Louderbaugh, AICP – Planning & Development Director

Jean Carder – Communications Coordinator



Citizens State Bank & Trust, 408 S. Metcalf Rd. – Constructed 2023



2024 PLANNING & DEVELOPMENT REPORT

TABLE OF CONTENTS

Director's Note	5
Bright Future Comprehensive Plan Goals & Objectives	6
Master Plan Goals	7
Louisburg Background & Demographics	10
Housing in Louisburg	16
Commercial / Industrial Construction in Louisburg	19
2024 Permits & Inspections Activity	21
2024 Boards & Commissions Activity	25

Director's Note

When I arrived in Louisburg in late 2024, there were already a lot of development projects underway. Scooter's Coffee was under construction, Louisburg Landing residential homes were well underway, and a myriad of permits were being submitted for different projects across the city. The city is growing steadily, and there is significant interest shown by new businesses and residents that desire to relocate to Louisburg. We held 13 formal pre-application meetings in 2025, and our staff and I have had countless conversations with business owners and potential residents interested in coming to Louisburg. People are seeing a flourishing community that they would like to be a part of, which is thanks to the wonderful people here, the proximity to amenities, available land to grow, a rural hometown feel, and many other qualities that make Louisburg great. Louisburg's motto is: "Close-knit, close-to-everything". I have certainly seen that in my time with the city. This is a community that wants to be thoughtful about development and is welcoming to those that are new. Louisburg is eager to provide opportunities to those that want to invest time, money, and effort into the betterment of the city. 2024 and 2025 brought many new projects in for review. We look forward to what will happen in Louisburg in 2026 and continue moving forward with a standard of excellence and expectation of great things to come!

*Katherine Louderbaugh, AICP
Planning & Development Director*



Bright Future Comprehensive Plan Goals & Objectives

The Bright Future Comprehensive Plan was completed and adopted in 2017 as the new Comprehensive Plan for the City of Louisburg. The goals and objectives listed in the Comprehensive Plan were formed as a result of public, stakeholder, staff, and elected officials input. A Comprehensive Plan is important to review on a yearly basis as decisions are made, and future plans are created. Below are the goals that were adopted as part of the plan:

- *Foster a diverse mix of land uses that support and grows Louisburg's tax base.*
- *Establish Downtown Louisburg as a vibrant and vital mixed-use center.*
- *Establish thriving neighborhood retail and destination commercial centers along Amity Street and Metcalf Road.*
- *Strengthen Louisburg's stable, vibrant neighborhoods that provide varied housing and living opportunities.*
- *Strengthen and expand Louisburg's enhanced and well-maintained parks and open space system.*
- *Ensure Louisburg has a well-connected, maintained and comprehensive transportation system.*
- *Ensure Louisburg has an orderly approach to maintaining its city form and addressing growth management.*
- *Maintain a high quality of life with quality community services, amenities and year-round activities.*





Master Plan Goals Progress

The items below reflect progress made on the Master Plan goals in 2024. These goals (and others not listed) are ongoing and are considered regularly in work plans, future budget considerations, and longterm planning.

1. **Implement key Comprehensive Plan land use recommendation.**
 - a. Progress: The Planning Commission primarily reviews Comprehensive Plan Land Use adherence. This is currently done primarily when development applications are submitted, and the land use is reviewed for appropriateness when compared with the Comprehensive Plan. This is looked at as a portion of the Golden Factors, which are reviewed during a public hearing meeting.
2. **Facilitate Downtown Revitalization activity.**
 - a. Progress: FLIP program for commercial businesses can assist downtown business owners with this goal.
3. **Enhance neighborhood livability.**
 - a. Progress: FLIP program currently provided for homeowners.
4. **Promote new residential development and quality new living environments.**
 - a. Progress: Multiple new subdivisions have been approved in the last 5 years, including Rolling Rock Reserve subdivision, Hidden Creek Estates, Parker Estates, Louisburg Landing, etc. Also, multiple single-family homes, duplexes, and multiplexes have been constructed within the city.
5. **Maintain all roads and ensure a safe pedestrian environment.**
 - a. Progress: Annual street and concrete work were completed.
6. **Maintain up-to-date infrastructure systems.**
 - a. Progress: Lift station upgrades were implemented.
7. **Maintain high quality community services / amenities.**
 - a. Progress: City staff and elected officials work daily to maintain high quality community services and amenities. This has been achieved through great customer service, transparency in all dealings with staff and the public, rapid responses to inquiries, and many other forms.
8. **Enhance community identity and appearance.**
 - a. Progress: The FLIP program is available in both residential and commercial form, as well as FLIP enhanced for business owners within Louisburg. This can help with both community identity and appearance.



9. Communicate progress on Comprehensive Plan implementation.

- a. Progress: This report is an attempt to provide information on progress for the Comprehensive Plan, as well as other development occurrences.

10. Integrate Comprehensive Plan into preparing annual work plans and budgets.

- a. Progress: This report can serve as information on the work completed in past years, to help inform budget decisions and work plans. Annual Comprehensive Plan reviews will also help with preparing both of these items.



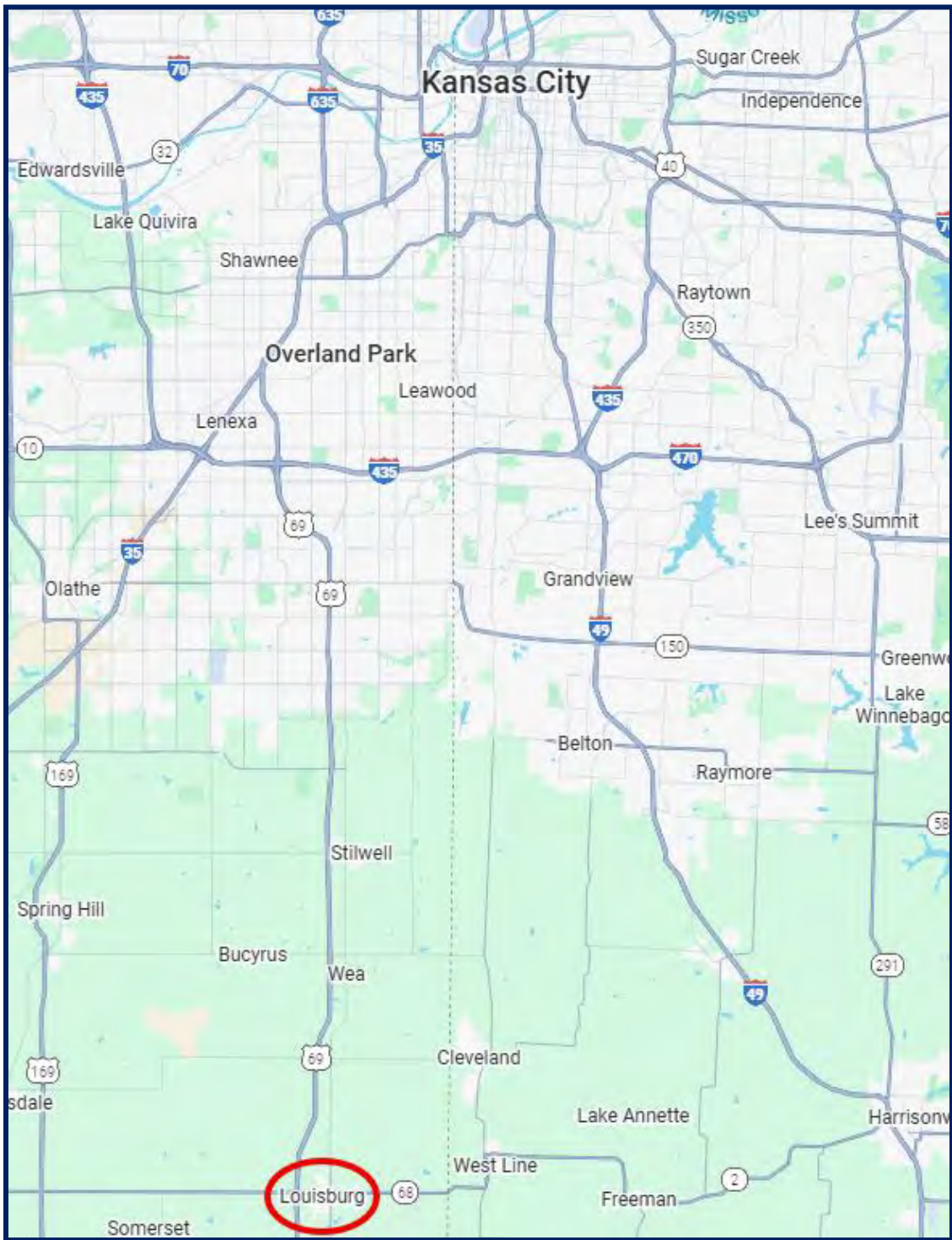
Taco Bell, 1401 West Amity St. – Under Construction 2025



Louisburg Background & Demographics



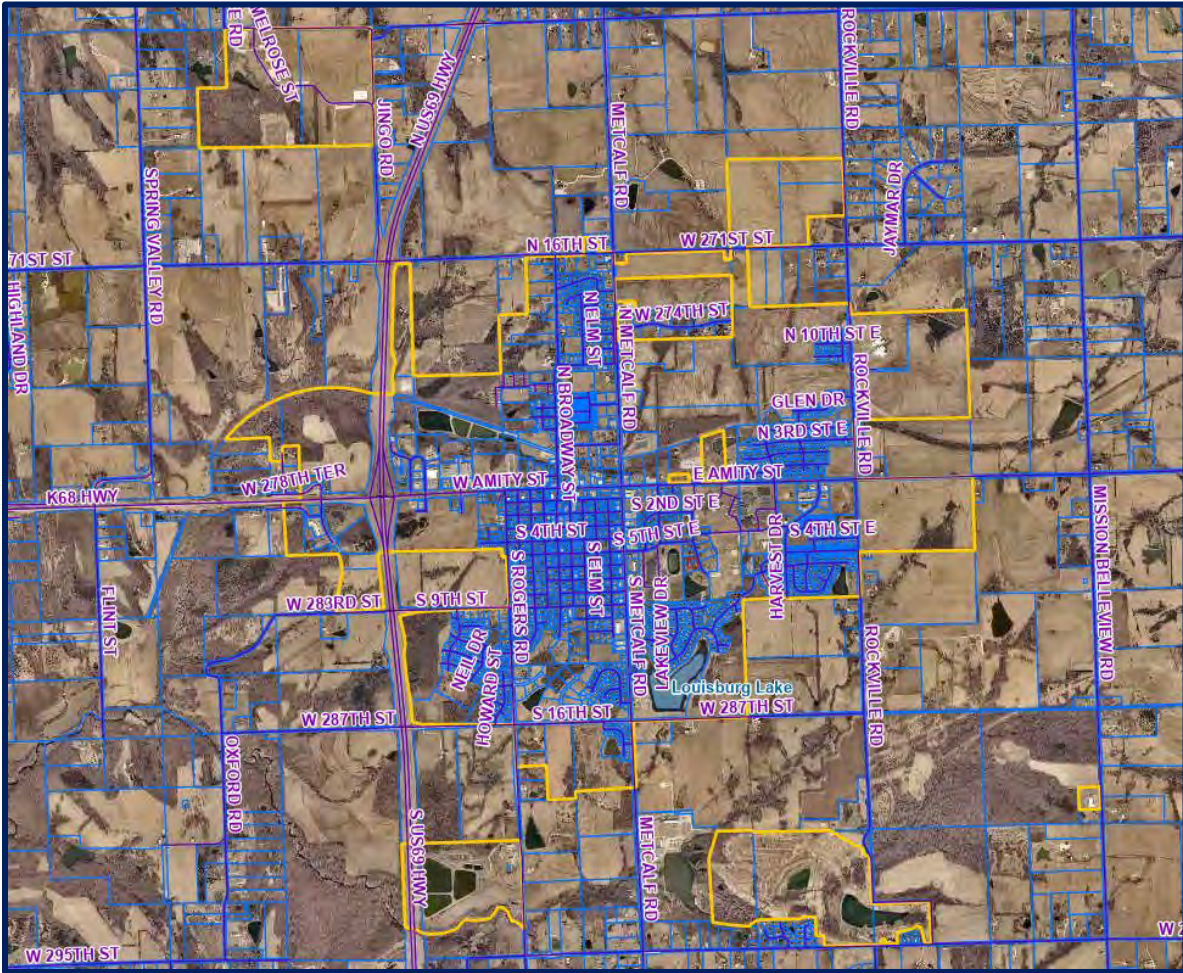
Louisburg as Part of the KC Metro



Map Source: Google Maps



Louisburg Aerial



Map Source: Miami County, Beacon Mapping

Louisburg is a city of just over 5,000 people, located in northeast Miami County, KS. The city is located at the intersection of two major highways, US-69 Highway running north and south through the west side, and K-68 Highway running east and west through the center of Louisburg.

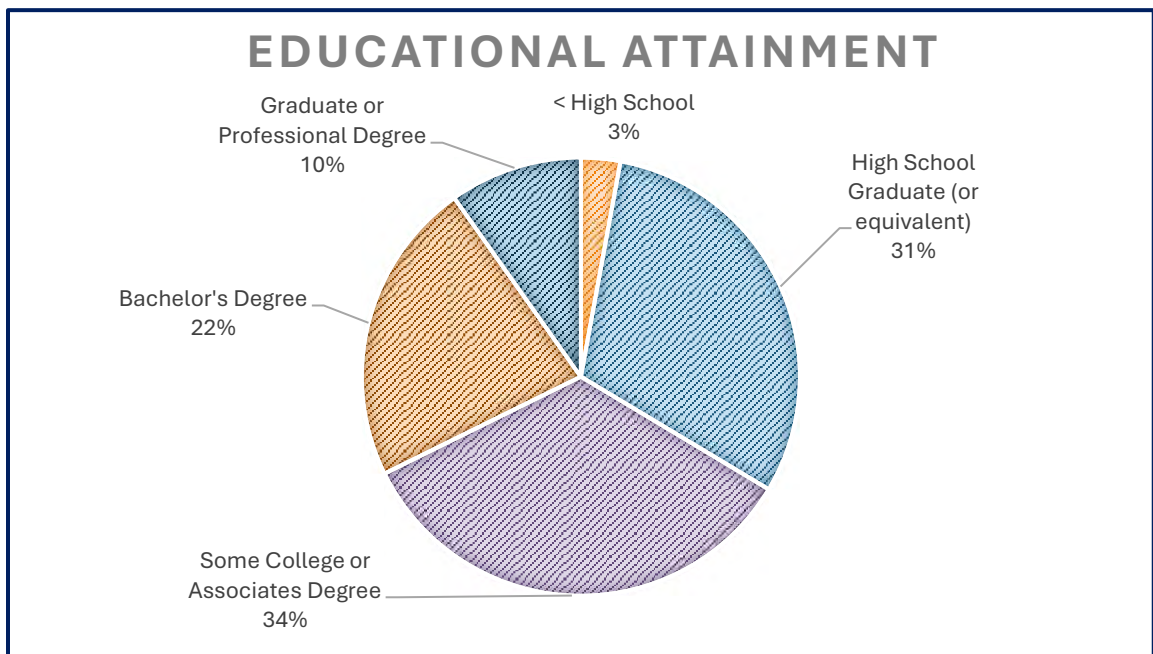
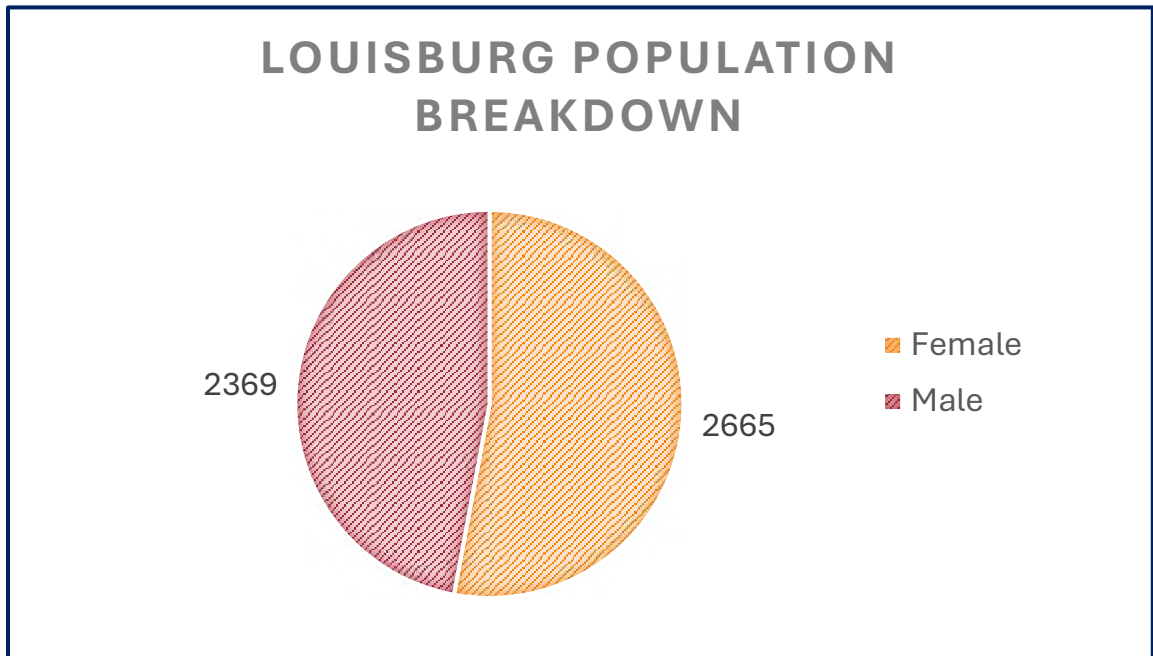


Total Population: 5,034 (2023 ACS estimate)

Median Age: 37.9 years old (2023 ACS estimate)

Median Income: \$75,556 (2023 ACS estimate)

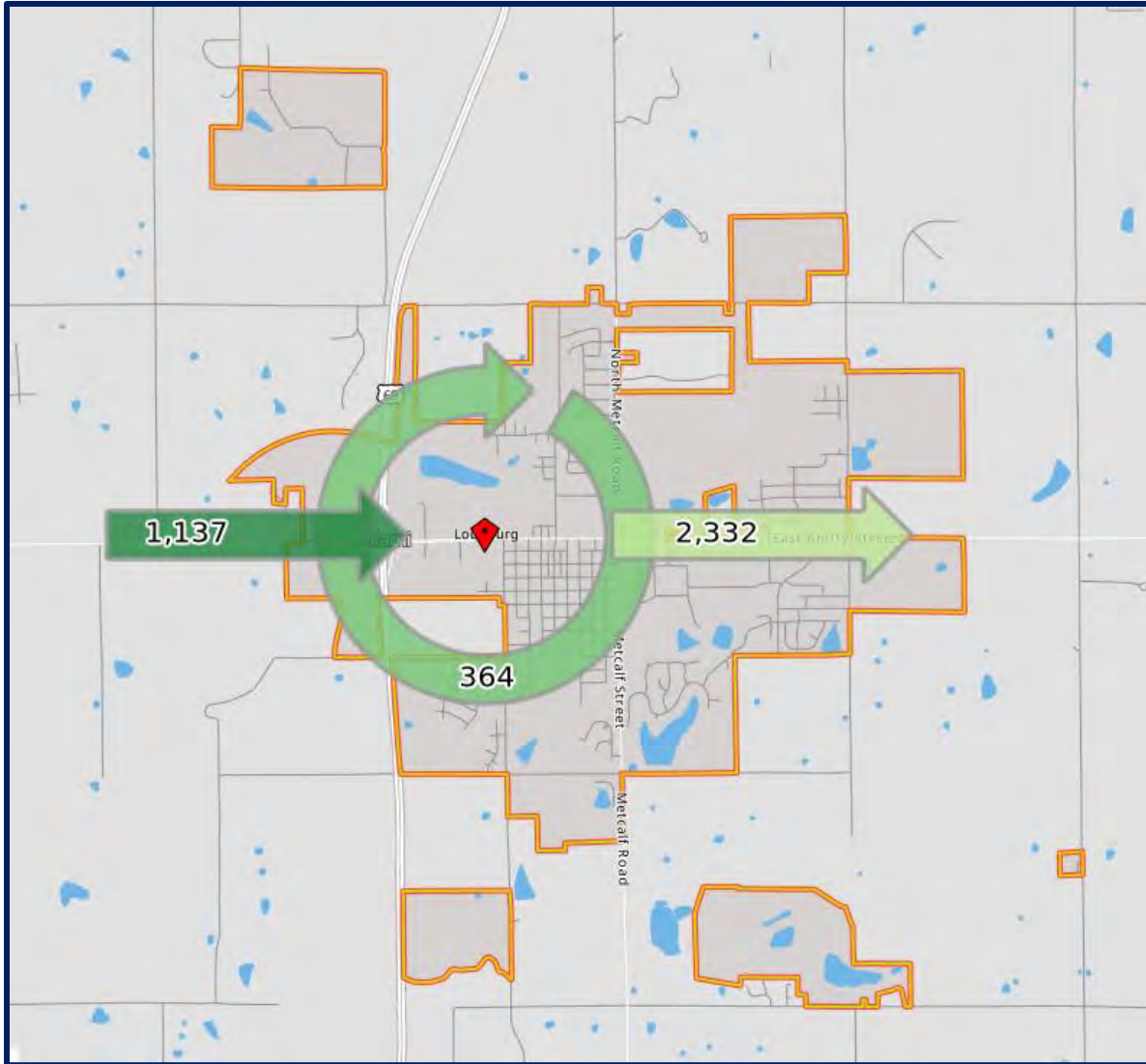
Tables below reflect 2023 Census Bureau ACS Data



Data Source: U.S. Census Bureau



Employment Inflow / Outflow (2022)



Map Source: On the Map

The map above provides job data as it relates to the City of Louisburg. The darker green arrow on the left side of the image shows the amount of people that don't live in Louisburg, but that commute into the city for work. The lightest green arrow on the right side of the image shows the amount of people that live in Louisburg but commute elsewhere for work. The middle green circular arrow shows the amount of people who both live and work in Louisburg.



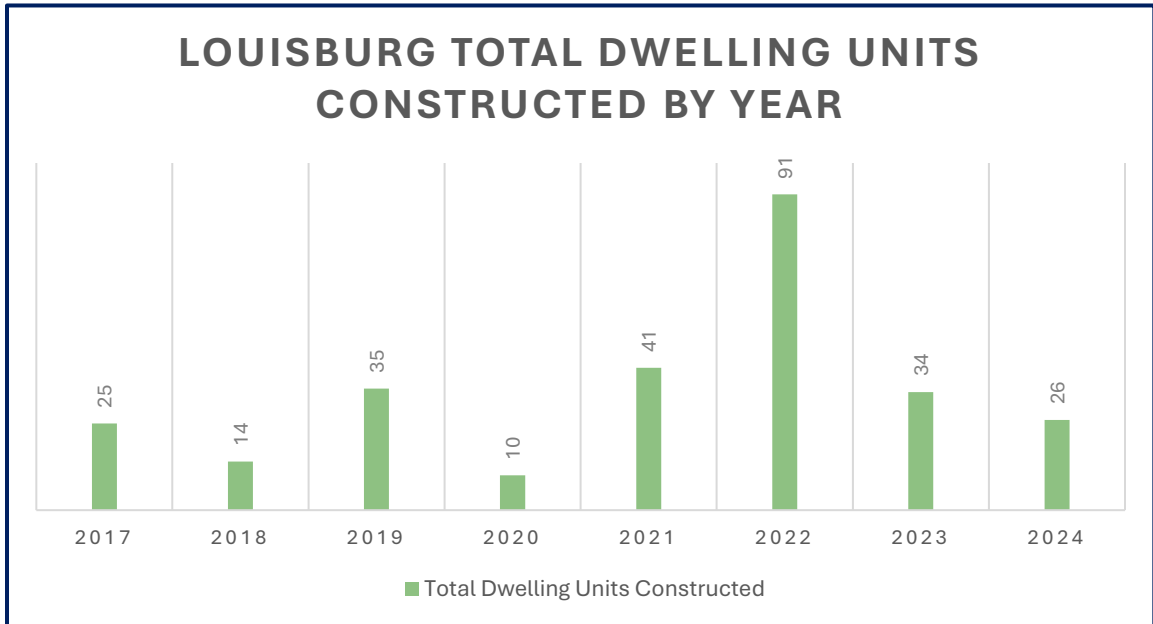
Scooter's Coffee, 1502 West Amity St. – Construction Completed 2025



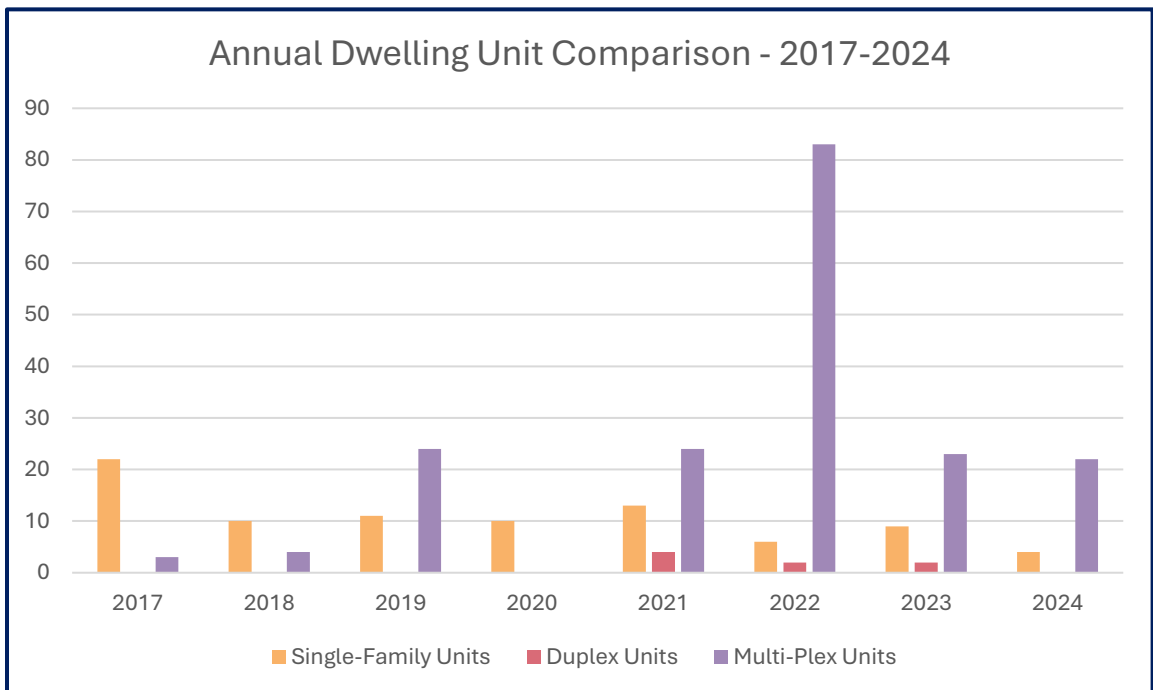
Housing in Louisburg



Residential Housing Units

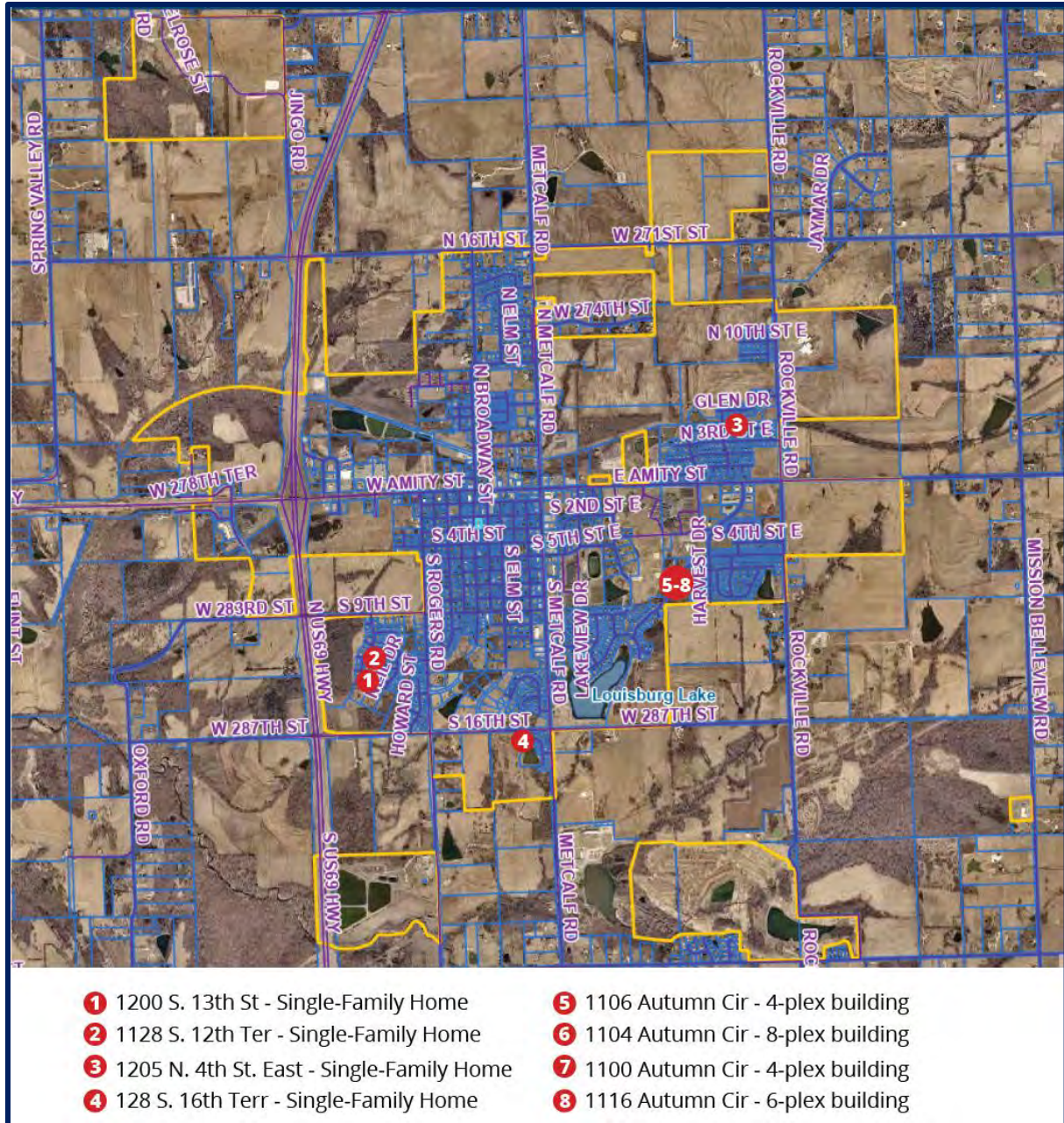


Valuation of 2024 residential units/projects - \$4,225,000.00





New Housing Units - 2024



Map Source: Miami County, Beacon Mapping

The U.S. Census Bureau 2023 American Community Survey (ACS) data estimates that approximately 68.2% of the housing units in Louisburg are owner-occupied, while approximately 31.8% of housing units are renter-occupied (U.S. Census Bureau).



Commercial / Industrial Construction in Louisburg



New Commercial / Industrial Construction

2024 new commercial / other construction projects – 1

2024 project valuation for new commercial - \$200,000

2024 square footage for new commercial – 664 sq.ft.



2019 – Ironhorse Dental; Casey’s General Store; Wastewater Treatment Plant

2020 – MD Electric Commercial Building (4 S. 1st St.); G-B Construction Three-Sided Accessory Building

2021 – Louisburg Middle School Storm Shelter / Renovations

2022 – Family Dollar / Dollar Tree Retail Store

2023 – Citizens State Bank & Trust

2024 – Scooter’s Coffee



2024 Permits & Inspections Activity



Permit Activity

2024 Permit fees collected - \$129,757.94

Total construction valuation - \$7,766,715.75

Permits voided – not pursued – 3

2024 Permit valuation by permit types

Permit Type	Project Cost
Accessory Structure	\$0
Addition	\$100,000.00
Building (Commercial)	\$200,000.00
Deck	\$44,407.00
Demolition	\$1,000.00
Drive	\$126,493.76
Electrical	\$237,668.58
Fence	\$213,075.00
Foundation	\$111,158.10
Home (New Build)	\$4,225,000.00
Mechanical	\$15,487.00
Other	\$209,575.00
Plumbing	\$64,551.00
Pool	\$257,293.00
Renovation	\$1,362,655.00
Roof	\$330,188.33
Siding	\$67,023.29
Sign	\$65,575.00
Solar	\$92,000.00
Window	\$43,565.72
Total 2024 Project Valuation	\$7,766,715.75

Data Source: https://louisburgkansas-my.sharepoint.com/personal/klouderbaugh_louisburgkansas_gov/Documents/Documents/PERMITS/2024%20BUILDING%20PERMIT%20REPORT.xlsx?web=1



Permit Info by Year (2017 - 2024)

Year	Total # of Permits Issued	Total Project Valuation	Permit Fees Total
2017	241	\$5,767,195.07	\$9,187.58
2018	822	\$8,730,933.71	\$23,957.34
2019	293	\$11,268,252.50	\$41,807.33
2020	232	\$4,124,509.96	\$14,104.12
2021	239	\$23,308,158.19	\$10,019.79
2022	180	\$10,115,708.89	\$88,850.81
2023	205	\$10,873,991.52	\$40,475.95
2024	192	\$7,766,715.75	\$129,757.94

Source: City of Louisburg Yearly Permit Spreadsheets (2017 - 2024)



Inspection Activity

Total inspections for 2024: 224

Total inspection hours for 2024: 179 hours

Inspection Type	Number
Final	46
Electrical	27
Sewer	21
Rough-In	18
Combination (2 or more types)	14
Plumbing	14
Water Line	13
Footings	11
Foundation	11
Deck	10
Miscellaneous	10
Mechanical	8
Pool	7
Finishes / Remodel	5
Framing	3
Concrete	2
Gas Line Repair	1
Joists	1
Meeting	1
Solar	1
Total	224

Source: Building Inspector Quarterly Inspection Reports



2024 Boards & Commissions Activity



Louisburg Boards & Commissions

Planning Commission

- **What does the Planning Commission do, and why do they exist?**
 - The Planning Commission is established by KSA 12-701 and Code of the City of Louisburg. The role of the Planning Commission is to provide comprehensive planned community development through recommendations on annexation, rezoning, Conditional or Special Use Permits requests, ordinance changes or additions to enhance quality of life and development opportunities for the City of Louisburg and its citizens. The Planning Commission should be a positive influence for guiding residential, commercial and industrial development within the community. Members of the Planning Commission should be visionary and proactive in their deliberations.

- **What are the requirements of members?**
 - Each member serves a three-year term; there are no term limits. The commission is made up of seven members, five of which must reside within the city limits; the other two members may reside outside the city limits but within three miles. Terms and membership is outlined in Ordinances 1027 and 1177. This is a volunteer appointment. Meetings are conducted at 6:30 p.m. on the last Wednesday of the month, unless a holiday occurs that week.

Info Source: City of Louisburg, KS Website



Board of Zoning Appeals

- **What does the Board of Zoning Appeals do, and why do they exist?**
 - The Board of Zoning Appeals hears and decides special exceptions, variance interpretations, and appeals of any decision or determination of the Zoning Administrator in the enforcement and administration of the Land Use Ordinance.

- **What are the requirements of members?**
 - Terms and membership are outlined in Ordinance 1028. Terms are for three years. Two members from the Planning Commission serve on this board while the other three are at-large. Two members may reside outside the city limits but must live within three miles of the city limits. This is a volunteer appointment. Meetings are called as needed.

Info Source: City of Louisburg, KS Website



Total 2024 Planning Commission / Board of Zoning Appeals Cases: 9

2024 Planning Cases by Type:

Application Type	Number
Change of Use	5
Lot Split / Tract Split	0
Boundary Line Adjustment	1
Annexation	0
Special Use Permit	1
Text Amendment	1
Site Plan	0
Subdivision	0
Rezoning	1
Variance (BZA)	0
Total	9

Change of Use

- Patriot's Restaurant – 1286 W. Amity St.
- Modern Woodmen Fraternal Financial – 108 Harvest Dr.
- WoolWorks – 702 W. Amity St.
- Supreme Mechanical Solutions (SMS) – 27295 N. Metcalf Rd.
- State Farm – 2 W. Amity St.

Special Use Permits

- 24001-SUP – 911 S. 12th St. – Real Estate Sign

Text Amendments

- 24001-TXA – Zoning Regulations – Large Lot Estates – Square Footage (Sec. 502.B)



Boundary Line Adjustment

- 24001-BLA – N. Metcalf Rd.

Rezoning

- 24001-Z – 206 S. Metcalf Rd. – C-1 to C-3

Source: City of Louisburg Files



Code Enforcement Violations

- **Total # of violations:** 26
- **# of cases completed:** 25
- **# of cases with citation sent:** 1
- **# of cases that went to court:** 1

Source: City of Louisburg Files





Sources

www.louisburgkansas.gov

<https://onthemap.ces.census.gov/>

<https://www.gptx.org/Departments/Code-Compliance/Yard-Maintenance-High-Grass>

<https://data.census.gov/table/ACSST5Y2023.S1101?q=Louisburg+city,+Kansas>

<https://beacon.schneidercorp.com/Application.aspx?AppID=229&LayerID=3117&PageTypeID=1&PageID=2395&KeyValue=1093004003013000>



To: Planning Commission

From: Katherine Louderbaugh, AICP – Planning & Development Director

Date: December 5, 2025

Re: 2025 Year-End Wrap-Up (in conjunction with 2024 Planning & Development Annual Report)

As we are rapidly approaching the end of 2025, it is important to look back and see all of the work that has been done this past year!

Planning Commission Info:

The Planning Commission had meetings the following months of 2025: January, February (x2), March, April, May, June (x2), July, August, September, October, November, and December.

The following formal cases were discussed at Planning Commission meetings in 2025:

- Gold Bridge Treatment Center
- Louisburg Middle School / High School Baseball / Softball Fields Improvements – Site Plan
- Parker Estates – Prelim. & Final Plats, Special Use Permit (dismissed)
- 1100 S. Metcalf Rd. – Mini-Warehouse – Special Use Permit
- 1102 S. Elm St. – Boundary Line Adjustment
- Taco Bell – Rezoning from “A-G” to “C-S”, Lot Split, Site Plan
- Middle Creek Lake – Deannexation
- Hidden Creek Estates (S. 9th St. & US-69 Hwy) – Prelim. & Final Plats
- Louisburg Family Dental – Building Expansion – Site Plan
- KOMA (Kansas Open Meetings Act) Discussion
- 901A West Amity St. – Front Yard Fence & Safety Bollards – Special Use Permit
- 105 East Amity St. – Rezoning from “C-0” to “C-3”
- Middle Creek Crest PUD – Rezoning from “R-1” to “PUD”, Prelim. Dev. Plan
- S. 3rd St. & S. Metcalf Rd. – Office Building – Site Plan

The following 2026 budget items were requested:

- Zoning & Subdivision Regulations Update (not approved)
- Infrastructure Implementation Fund (approved)

The following potential text amendments were discussed in 2025:

- Temporary signage / potential trial period
- Interact / LIFT developer meetings
- Fence regulations
- Table of Uses
- Bulk Regulations Tables
- Exterior Building Materials on Non-Residential Buildings
- Outdoor Storage Requirements in Non-Residential Zoning Districts
- Signage Material – HDU (High Density Urethane) and EPS (Expanded Polystyrene)
- Screening of Roof-Mounted Utilities
- HUD Requirements for Mobile Homes

Permit Data (all data valid as of 12/11/25):

Permits requested in 2025: 238

Permits approved in 2025: 194

Permits voided in 2025: 8

Incomplete permits in 2025: 36

Total 2025 permit valuation (including pending and approved permits): \$11,429,650.09

Total 2025 permit fees (including pending and approved permits): \$39,966.77

2025 new home permits approved: 6

Financial: None.

Recommendation: Discuss and read / file.



Memo: Item 13

To: Planning Commission

From: Staff

Date: Jan. 22, 2026

Re: 2027 Budget Priorities – Joint Workshop

At the December meeting, Planning was to continue discuss of requested budget items for 2027. That memo is attached.

All boards/commissions/committees will meet with the Governing Body at 6 p.m. Thursday, Feb. 26 to discuss any budget requests Planning may have. Planning members should select one representative to attend that meeting and share Planning's requests.

Legal: None

Financial: None

Recommendation: Discuss and direct staff accordingly.



To: Planning Commission

From: Katherine Louderbaugh, AICP – Planning & Development Director

Date: December 10, 2025

Re: 2027 Budget Priorities – Continued Discussion

Staff is requesting that the Planning Commission bring requested budget items for 2027 to the December meeting. These will be compiled into a list and staff will put together any cost considerations. These will be considered at the joint boards and committee meetings in late February / early March.

Financial: None

Recommendation: Discuss and advise staff and applicant accordingly.

Attachments: Original 2027 Budget Priority Memo



To: Planning Commission

From: Katherine Louderbaugh, AICP – Planning & Development Director

Date: November 13, 2025

Re: 2027 Budget Priorities

A joint workshop between City Council and all City Boards/Commissions/Committees will be planned for late February/early March 2026. This workshop will be similar to the joint workshop conducted in February 2025.

Starting this month, all boards/commissions/committees should begin discussion on those ideas/items/projects they would like to review for possible inclusion in the 2027 budget efforts.

At the December meeting, each board member should bring a list of projects for 2027 and beyond. During this meeting, those individual lists will be refined to create a master list for that board. Staff will take these items and put together costs and return to the January meeting.

In January, each board will review its list and further refine it based on estimated costs. Also at this meeting, each board will select the person who will represent that board during the joint workshop. This should be someone who can champion their board's list to the City Council. The January meeting can also be used to develop talking points for the representative who will discuss the projects with Council.

Boards that meet quarterly may need to call a special meeting(s) to work on these lists.

Financial: None at this time.

Legal: None.

Recommendation: Discuss and direct accordingly.



Memo: Item 14

To: Planning Commission

From: Staff

Date: Jan. 22, 2026

Re: 2026 Planning Commission calendar

See attached memo from the December 2025, meeting for discussion of the 2026 Planning calendar.

Legal: None

Financial: None

Recommendation: Receive and file.



To: Planning Commission

From: Katherine Louderbaugh, AICP – Planning & Development Director

Date: December 8, 2025

Re: 2026 Planning Commission Calendar

As this meeting is the last of 2025, staff wanted to provide the Planning Commission with a copy of the 2026 Planning Commission calendar for your reference. No changes or updates are proposed or needed; this is just to provide you with the meeting dates that have already been approved and scheduled for 2026.

Financial: None

Recommendation: Read and file.

January 2026 to December 2026

Louisburg Planning Commission Meeting Dates & Submittal Deadlines

Date of Planning Commission Meeting	Pre- Application Conference	Application Submittal Deadline Dates		Public Notice Publication	City Council Consideration	
		SUP/CUP Rezoning Preliminary Plats	Site Plans & Other		Subdivisions	SUP / Re-zoning
January 28, 2026	December 17, 2025	December 23, 2025	December 31, 2025	January 2, 2026	February 2, 2026	February 17, 2026
February 25, 2026	January 14, 2026	January 21, 2026	January 28, 2026	January 30, 2026	March 2, 2026	March 16, 2026
March 25, 2026	February 11, 2026	February 18, 2026	February 25, 2026	February 27, 2026	April 6, 2026	April 20, 2026
April 29, 2025	March 18, 2026	March 25, 2026	April 1, 2026	April 3, 2026	May 4, 2026	May 18, 2026
May 27, 2026	April 15, 2026	April 22, 2026	April 29, 2026	May 1, 2026	June 1, 2026	June 15, 2026
June 24, 2026	May 13, 2026	May 20, 2026	May 27, 2026	May 29, 2026	July 6, 2026	July 20, 2026
July 29, 2026	June 17, 2026	June 24, 2026	July 1, 2026	July 2, 2026	August 3, 2026	August 17, 2026
August 26, 2026	July 15, 2026	July 22, 2026	July 29, 2026	July 31, 2026	September 8, 2026	September 21, 2026
September 30, 2026	August 19, 2026	August 26, 2026	September 2, 2026	September 4, 2026	October 5, 2026	October 19, 2026
October 28, 2026	September 16, 2026	September 23, 2026	September 30, 2026	October 2, 2026	November 2, 2026	November 16, 2026
*November 18, 2026	October 7, 2026	October 14, 2026	October 21, 2026	October 23, 2026	December 7, 2026	December 21, 2026
December 30, 2026	November 18, 2026	November 25, 2026	December 2, 2026	December 4, 2026	January 4, 2027	January 19, 2027

* *Change Meeting to 3rd Wednesday of the month*

1. Prior to application submittal, a pre-application conference is recommended by the pre-application date or an alternate date scheduled with the Planning Director.
2. Application must be received by 4:00 p.m. on the application submittal Deadline Date.
Failure to submit a complete application by this time may result in the item being continued to the next scheduled meeting date.
3. A protest petition may be filed concerning a Special Use Permit (SUP) or a Rezoning request within fourteen (14) days after the date of the Planning Commission hearing.
Consideration by City Council is not scheduled until the protest period has lapsed.
4. Planning Commission meetings are scheduled on the last Wednesday of each month, unless otherwise noted. The meetings are held in the City Council Chamber at 6:30 p.m.
5. City Council meetings are scheduled for the first (1st) and third (3) Mondays of each month, unless otherwise noted.
The meetings are held in the City Council Chambers beginning at 6:30 p.m.

February 16, 2026 Council Meeting would be moved to February 17, 2026 due to scheduled holiday.

September 7, 2026 Council Meeting would be moved to September 8, 2026 due to scheduled holiday.

January 18, 2027 Council Meeting would be moved to January 19, 2027 due to scheduled holiday.